



# HIDEOUT, UTAH PLANNING COMMISSION REGULAR MEETING AND PUBLIC HEARING

September 17, 2020

## Amended Agenda

PUBLIC NOTICE IS HEREBY GIVEN that the Planning Commission of Hideout, Utah will hold its regularly scheduled meeting and Public Hearing for the purposes and at the times as described below on Thursday, September 17, 2020

This meeting will be an electronic meeting without an anchor location pursuant to Mayor Rubin's August 26, 2020 Determination Letter (attached) and as determined by the Planning Commission Chair

All public meetings are available via ZOOM conference call and net meeting.  
Interested parties may join by dialing in as follows:

**Meeting URL:** <https://zoom.us/j/4356594739> To join by telephone dial: US: +1 408 638 0986  
**Meeting ID:** 435 659 4739

In addition to appearing at the public hearing, interested persons may submit written comments regarding the proposed Final Plat to the Town Clerk at [hideoututah@hideoututah.gov](mailto:hideoututah@hideoututah.gov). Written comments received up to two business days prior to the public hearing will be considered at the public hearing.

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### Regular Meeting 6:00 PM

#### I. Call to Order and No Anchor Site Determination Letter Reading

1. Planning Commission No Anchor Site Determination Letter

#### II. Roll Call

#### III. Approval of Council Minutes

1. July 16, 2020 Planning Committee Minutes DRAFT
2. July 20, 2020 Planning Commission Minutes DRAFT

#### IV. Agenda Items

1. Discussion and Possible Appointment of a New Chair Person of the Planning Commission

#### V. Public Hearing

1. **PUBLIC HEARING:** Review and possibly Recommend the Final Plat for the Lakeview Estates subdivision to the Town Council.

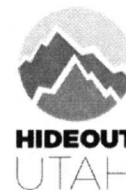
#### VI. Work Session

1. Discussion of the Potential Annexation Master Development Agreement for the land subject to Resolution 2020-09 (Resolution of Intent to Annex)

#### VII. Meeting Adjournment

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Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during the meeting should notify the Mayor or Town Clerk at 435-659-4739 at least 24 hours prior to the meeting.



September 15, 2020

DETERMINATION REGARDING CONDUCTING TOWN OF HIDEOUT PUBLIC MEETINGS  
WITHOUT AN ANCHOR LOCATION

The Planning Commission Chair of the Town of Hideout hereby determines that conducting a meeting with an anchor location presents a substantial risk to the health and safety of those who may be present at the anchor location pursuant to Utah Code section 52-4-207(4) and Hideout Town Ordinance 2020-03. The facts upon which this determination is based include: The percent and number of positive COVID-19 cases in Utah has been over 5% of those tested since May 27, 2020. The seven day average of cases has been over 200 since May 27, 2020. COVID-19 patients in Utah hospitals has been significant during the same time period.

This meeting will not have a physical anchor location. All attendees will connect remotely. All public meetings are available via ZOOM conference call and net meeting. Interested parties may join by dialing in as follows:

**Meeting URL:** <https://zoom.us/j/4356594739>

**To join by telephone dial:** US: +1 408-638-0986

**Meeting ID:** 4356594739

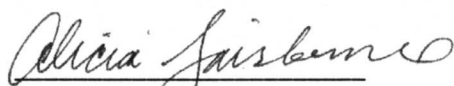
Additionally, comments may be emailed to the Town Clerk [afairbourne@hideoututah.gov](mailto:afairbourne@hideoututah.gov).

This determination will expire in 30 days on October 14, 2020.

BY:

  
Acting Chair Person, Ralph Severini

ATTEST:

  
Alicia Fairbourne, Town Clerk





HIDEOUT, UTAH  
10860 N. Hideout Trail  
Hideout, UT 84036  
PLANNING COMMISSION MEETING July 16, 2020  
6:00 p.m.

**I. OPENING**

Chair Dwinell called the meeting to order at 6:00 p.m.

**PRESENT ELECTRONICALLY**

Chair Jerry Dwinell  
Commissioner Ralph Severini  
Commissioner Bruce Woelfle  
Commissioner Sara Goldkind  
Commissioner Tony Matyszyk  
Commissioner John Sherwood

**ABSENT**

Commissioner Donna Turner (Alternate)

**TOWN STAFF ELECTRONICALLY**

Jan McCosh, Town Administrator  
Thomas Eddington, Town Planner  
Kathleen Hopkins, Deputy Town Clerk

**II. APPROVAL OF MEETING MINUTES**

June 18, 2020 regular meeting minutes  
There were no comments to the minutes.

*Commissioner Severini moved to approve. Commissioner Matyszyk made the second. Voting Aye: Commissioners Severini, Goldkind, Woelfle and Matyszyk. Voting Nay: None. The motion carried.*

**III. ADMINISTRATIVE ITEMS**

**1. Review and discuss changes to Titles 3, 10, 11 and 12 of the Town Code**

Chair Dwinell stated that the Planning Commission's Title changes had previously been provided to the Town Council for review. The Town Council provided its requested

changes as reflected in the document supplied to this meeting. After some discussion, it was requested that prior to approving the changes, the Planning Commission members be provided with a new document showing all such changes. It was agreed that this will be done, with the expectation that these items will be voted on at the next Planning Commission meeting on July 20, 2020.

## **2. Review and discuss changes to an Ordinance restricting on-street parking**

Chair Dwinell led the discussion of various proposed changes to an Ordinance restricting on-street parking, noting the background and objectives as being based on improving public safety and providing emergency vehicle access.

Commissioner Goldkind discussed the subcommittee's work in drafting the proposals, noting the challenges with certain narrow streets. Chair Dwinell reported on a tour last week with the Town Council and the Wasatch County Fire District, where a fire district ladder truck was driven through the community. He noted the challenges the fire truck had in accessing certain streets, and also noted that actual emergency calls would result in multiple response vehicles being called to the scene with need for additional street access.

The Commission members discussed issues concerning road width (26 feet versus 32 feet where on-street parking does not present the same safety concerns), and the pros and cons of some level of permit requirements for residential curb loading areas. Commissioner Woelfle stated that the ordinance, as written, is too restrictive as it covers every road in Hideout. There are roads wide enough to allow one side of street parking and even that could be restricted where necessary. Without visitor parking spots available in many areas of town this ordinance makes having visitors very difficult. It was decided that additional input from the Fire Department would be helpful to better understand best practices to consider.

The Commission members also discussed issues around construction vehicle parking at construction sites and whether it is reasonable to restrict the length of time such vehicles should remain continuously parked on-site.

After further discussion, Chair Dwinell noted that the comments and relevant changes would be noted in a new version to be voted on at the July 20 meeting. He also noted that while tonight's meeting was not open for public comment, members of the public may comment at next week's Planning Commission meeting as well as when these matters come to the Town Council.

## **IV. MEETING ADJOURNMENT**

There being no further business, Chair Dwinell called for the meeting to be adjourned.

*Commissioner Severini moved to adjourn. Commissioner Woelfle made the second. Voting Aye: Commissioners Woelfle, Severini, Goldkind, Matyszyk and Sherwood. Voting Nay: None. The motion carried.*

1 The meeting adjourned at 7:25 p.m.

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Kathleen Hopkins, Deputy Town Clerk

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Draft

HIDEOUT, UTAH  
10860 N. Hideout Trail  
Hideout, UT 84036  
PLANNING COMMISSION SPECIAL MEETING July 20, 2020  
6:00 p.m.

**I. OPENING**

Chair Dwinell called the meeting to order at 6:01 p.m.

**PRESENT ELECTRONICALLY:**

Chair Jerry Dwinell  
Commissioner Ralph Severini  
Commissioner Bruce Woelfle  
Commissioner Tony Matyscyk  
Commissioner John Sherwood  
Commissioner Donna Turner (Alternate)

**ABSENT**

Commissioner Sara Goldkind

**TOWN STAFF ELECTRONICALLY**

Thomas Eddington, Town Planner  
Kathleen Hopkins, Deputy Town Clerk

**II. PUBLIC HEARING**

**1. Review and possibly recommend changes to Titles 3, 10, 11 and 12 of the Town Code to the Town Council**

Chair Dwinell led the discussion, noting that since the prior meeting, the Planning Commission members have been provided with marked versions of the documents highlighting the comments and changes received from the Town Council. Each of the items was discussed, with the floor being opened for Public comment prior to each vote.

**Title 3** – No comments from the Commission members or Public.

*Commissioner Matyscyk moved to approve the Title. Commissioner Turner made the second. Voting Aye: Commissioners Woelfle, Severini, Turner, Matyscyk and Sherwood. Voting Nay: None. The motion carried.*

**Title 10** – Commission members discussed several items within this section, including:  
 Section 10.04.10 clarification of delinquent builder fees;  
 Section 10.08.08.06 regarding approved building materials;  
 Section 10.08.14.03 regarding on-street parking with small clarifying edits added;  
 Section 10.04.30 regarding Hours of Operation where the Commission agreed to pose a question to the Town Council to consider codifying the elimination of construction work on Sundays;  
 Section 10.08.06 3b General Standards for certain future subdivisions regarding variations in elevations to promote more architectural diversity;  
 Section 10.08.08.11 regarding change to the maximum percentage of glass in garage doors.

There were no comments from the Public.

*Commissioner Severini moved to approve the Title. Commissioner Matyszczyk made the second. Voting Aye: Commissioners Woelfle, Severini, Turner, Matyszczyk and Sherwood. Voting Nay: None. The motion carried.*

**Title 11** – Commission members discussed proposed changes requiring Developers to address Traffic Impact studies and Emergency Evacuation plans in the preliminary planning process. Specific discussion included:  
 Section 11.06.08.01 clarification of Completion Bond requirements relative to Abandoned Permit Projects;  
 Section 11.06.08.02 regarding Warranty Bond amounts which are set by the State.

There were no comments from the Public.

*Commissioner Woelfle moved to approve the Title. Commissioner Matyszczyk made the second. Voting Aye: Commissioners Woelfle, Severini, Turner, Matyszczyk and Sherwood. Voting Nay: None. The motion carried.*

**Title 12** – Commission members discussed Zoning Regulations and the proposed changes to details of Dimensional Standards.

There were no comments from the Public.

*Commissioner Severini moved to approve the Title. Commissioner Sherwood made the second. Voting Aye: Commissioners Woelfle, Severini, Turner, Matyszczyk and Sherwood. Voting Nay: None. The motion carried.*

## **2. Review and possibly recommend an Ordinance restricting on-street parking**

Chair Dwinell reported on feedback received from the Fire Department regarding on-street parking restrictions and emergency access. Based on this feedback it was determined that the Planning Commission's proposals were appropriate. The Commission members discussed changes to the Public Right of Way restrictions and added clarification to the definition of vehicle used in this section.

Commissioner Sherwood left the meeting at 7:25, and Chair Dwinell assumed his role as Voting Member.

During the Public Comment time, Town Council member Kurt Shadle asked whether anyone else had reviewed these recommendations. Chair Dwinell responded while this has been the second meeting open to the Public, there have not been outside commenters to date. The proposals would go to the Town Council for Legal review and ultimate approval. It was discussed that these proposals would impact various community stakeholders, and would certainly be weighed against the underlying safety benefits.

***Commissioner Matyszyk moved to approve the Ordinance. Commissioner Turner made the second. Voting Aye: Commissioners Severini, Turner, Matyszyk and Chair Dwinell. Voting Nay: Commissioner Woelfle. The motion carried.***

#### **IV. MEETING ADJOURNMENT**

There being no further business, Chair Dwinell called for the meeting to be adjourned.

***Commissioner Severini moved to adjourn. Commissioner Turner made the second. Voting Aye: Commissioners Woelfle, Severini, Matyszyk and Chair Dwinell. Voting Nay: None. The motion carried.***

The meeting adjourned at 7:35 p.m.

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Kathleen Hopkins, Deputy Town Clerk

Hideout Planning Commission July 20, 2020



## Staff Report

To: Hideout Planning Commission

From: Thomas Eddington Jr., AICP, ASLA  
Town Planner

Re: Final Plat Recommendation for Lake View Estates

Date: September 10, 2020

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*Submittals: The original Application was dated 4 December 2019 with subsequent revisions and a positive recommendation by the Planning Commission for Preliminary Subdivision on 19 March 2020.*

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### Overview of Current Site Conditions

Land Area:	22.40 acres
Zoning:	Residential Medium Density (RMD)
MIDA:	This property is located within the MIDA boundary – Project Area 4
Proposed Uses:	Single-family dwellings, rights-of-way, utility infrastructure, trails and park space – all permitted per the Zoning Ordinance
Proposed Lots	69 Lots
Density/Lot Size:	+/- 3 units per acre proposed
Required Setbacks:	Front: 20' Rear: 20' Side (distance between buildings): Varies but 10' per original approval
Max Height:	42' maximum (3 ½ stories)
Open Space Requirement:	20% of total area



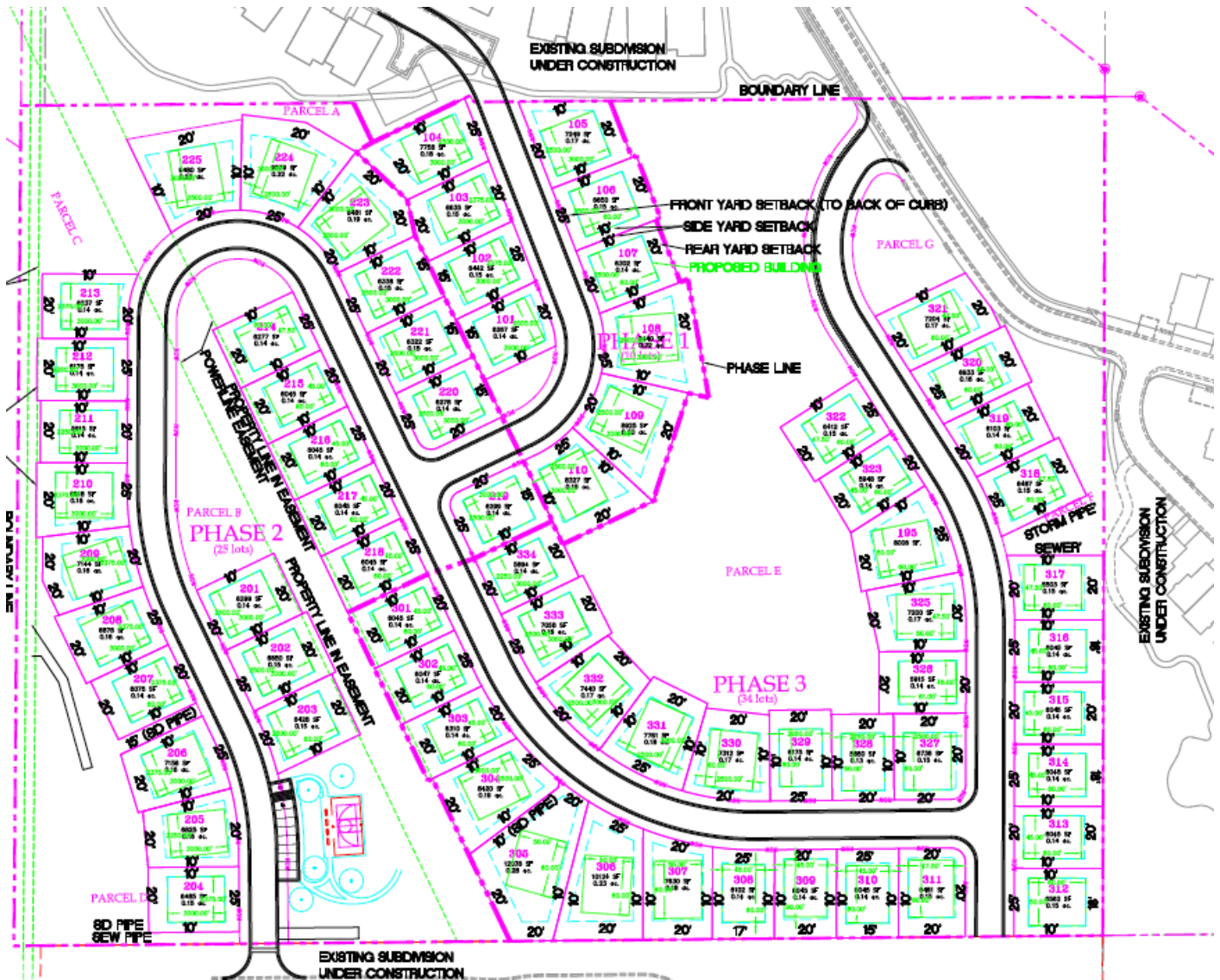
**Originally Submitted Subdivision Layout (March 2020)**



- **At a public hearing on April 9, 2020, the Town Council required:** reduced density, elimination of traffic hammerheads, vehicular connection to rights-of-way to the neighborhood to the south, increased open space continuity, a reduced number of retaining walls (with reduced heights), improved trail connectivity, and detention basin details among other requirements.



## North





## **Revisions:**

### **Layout, Design and Setbacks:**

- The new layout increases open space connectivity, moves the park area into the proposed houses, connects the neighborhood to the Shoreline neighborhood, reduces the number and height of retaining walls. In addition, the new design has almost exclusively uphill and downhill lots, and no side slope lots (which are more challenging to build and more impactful to the landscape).
- The original plan included an average lot size = 70' x 98'
  - The new proposal includes +/- 65' wide x 100' deep lots
  - This equates to a building envelope of +/- 45'+ wide x 60' deep
- Prior to the revised design, the original approval at the Planning Commission approved a plan set with deed restrictions that required varied front setbacks of 30' (with some 25' setbacks)
  - The new proposal has alternating 20' and 25' setbacks from back of curb and gutter (the *minimum* front yard setback for the RMD zone is 20' as measured from the back of curb and gutter).
  - The reduced rear yard setbacks should only be permitted subject to a required staggered front building setback throughout the neighborhood. That is what the proposed Final Plat indicates as presented. This necessitates the reduction of the 20' rear yard setback to 15' (or 17' or 18') to create the desired variation in the streetscape building wall for the following lots:
    - Lot 219 – 15' rear yard setback
    - Lot 221 – 15' rear yard setback
    - Lot 222 – 15' rear yard setback
    - Lot 308 – 17' rear yard setback
    - Lot 310 – 15' rear yard setback
    - Lot 314 – 18' rear yard setback
    - Lot 316 – 18' rear yard setback
- The original plan indicated 10' side yard setbacks; this Final Plan adheres to those minimum required setbacks.

### **Increased vehicular connection to adjacent rights-of-way to the neighborhood to the south elimination of traffic hammerheads**

There are now four (4) connection points to ingress/egress the newly proposed neighborhood – including a much-needed connection to the neighborhood to the south.



Additionally, the hammerheads have been removed from the plan. The Applicant must illustrate snow storage areas on site; these areas must be located outside of proposed Lot boundaries.

**Increased open space and contiguity and improved trail connectivity (11.06.107):**

It appears the amount of contiguous open space has been increased but the Applicant must calculate this (in acres and as a percent of the total proposed subdivision area). A minimum of 20% of the total subdivision area must be dedicated to open space. The active open space area has been pushed downslope from Deer Waters Phase 2 to the area along the Public Utility Easement (PUE) that bisects the Lakeview Estates neighborhood. Confirmation is necessary regarding:

- What is proposed where the active open space (pickle ball courts) were originally located?
- How do residents in that area easily access this space? A stairwell should be considered in the location originally anticipated subdivision plan – between Lots 313 and 314 (as well as the newly proposed stairs between Lots 317 and 318).
- What is the proposed timing for the open space amenities?
- What is the extent of the dog wash? Is a building or canopy proposed?
- Trail typology (materials) must be included on the final set of plans. The trail under the powerlines, within the PUE, should be paved.

**Reduced number of retaining walls and reduced heights (11.06.105):**

The Applicant confirmed the newly proposed subdivision plan reduced the number and size of the retaining walls. Based on the concept plan, the wall at the property line (service road) is about 10' high, the next one upslope is about 8' high, and the top two walls range from 6' to 10 high. The Applicant must include the exact locations of these walls and provide sections of all proposed retaining walls. Additionally, proposed wall type, materials, should be provided (stacked boulders were discussed in earlier meetings).

**Detention basin – updated design and details to ensure a seamless relationship to the natural characteristics of the area**

The proposed retention basin is in the same location as originally envisioned however it appears to occupy less area. The Applicant must address the following issues:

- No embankment shall be greater than a 3:1 slope and no rock or concrete material may be used in the storm water basin.
- The natural storm water basin shall be planted with native vegetation and this must be provided as part of an overall Landscape Plan (plant species, locations, sizes, etc.)



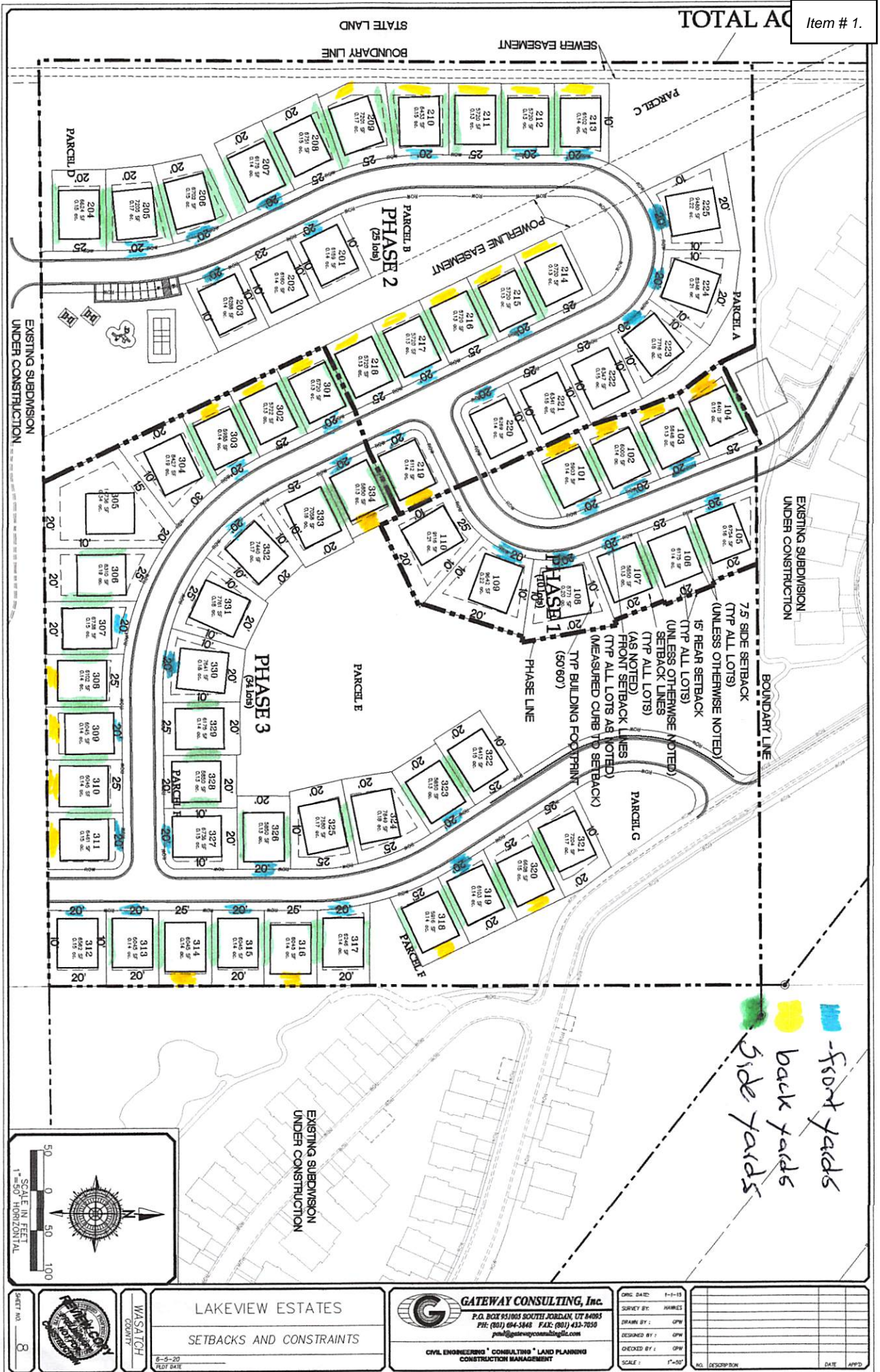
**Sensitive Lands (11.06.117(O)):**

All sensitive lands should be identified on the proposed subdivision plan – steep slopes, wetland areas, natural drainage ravines, poor soils, etc.

LOT	FOOTAGES NEEDED OFF FOR FRONT YARDS, BACK YARDS, AND SIDE YARDS	# of Adj	Total Feet Adj	Normal Front	Actual Front	Non-Staggered	Normal Rear	Actual Rear	Normal Side	Actual Side 1	Actual Side 2	Notes
101	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	3	12.5	25	20		20	15	10	7.5	10	
102	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	4	15	25	20	TRUE	20	15	10	7.5	7.5	
103	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	4	15	25	20	TRUE	20	15	10	7.5	7.5	
104	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	2	7.5	25	25		20	15	10	7.5	10	
105	5 feet off the front and 2 1/2 off each side yard	2	7.5	25	20		20	20	10	7.5	10	
106	2 1/2 each side yard	2	5	25	25		20	20	10	7.5	7.5	
107	5 feet off the front and 2 1/2 off each side yard	2	7.5	25	20		20	20	10	7.5	10	
108	5 feet off the front	1	5	25	20	TRUE	20	20	10	10	10	
109	5 feet off the front	1	5	25	20	TRUE	20	20	10	10	10	
110	5 feet off the front	0	0	25	25		20	20	10	10	10	Plat doesn't show a reduced front setback
201	5 feet off the front and 5 feet off the back	2	10	25	20		20	15	10	10	10	Backs onto Open Space
202	2 feet off the front and 5 feet off the back	2	7	25	23		20	15	10	10	10	Backs onto Open Space
203	5 feet off the front and 5 feet off the back	2	10	25	20		20	15	10	10	10	Backs onto Open Space
204	2 1/2 off each side yard	1	2.5	25	25		20	20	10	7.5	10	
205	5 feet off the front and 2 1/2 off each side yard	3	10	25	20		20	20	10	7.5	7.5	
206	5 feet off the front and 2 1/2 off each side yard	2	7.5	25	20	TRUE	20	20	10	7.5	10	
207	5 feet off the front and 2 1/2 off each side yard	2	7.5	25	20	TRUE	20	20	10	7.5	10	
208	2 1/2 off each side yard	2	5	25	25		20	20	10	7.5	7.5	
209	5 feet off the back and 2 1/2 off each side	3	10	25	25	TRUE	20	15	10	7.5	7.5	
210	5 feet off the front and 5 feet off the back	4	15	25	20		20	15	10	7.5	7.5	
211	5 feet off the back ands 2 1/2 off each side	3	10	25	25		20	15	10	7.5	7.5	
212	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	4	15	25	20		20	15	10	7.5	7.5	
213	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	3	12.5	25	20	TRUE	20	15	10	7.5	10	
214	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	3	10	25	25		20	15	10	7.5	7.5	Backs onto Open Space
215	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	3	15	25	20		20	15	10	7.5	7.5	Backs onto Open Space
216	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	3	10	25	25		20	15	10	7.5	7.5	Backs onto Open Space
217	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	4	15	25	20		20	15	10	7.5	7.5	Backs onto Open Space
218	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	2	7.5	25	25		20	15	10	7.5	10	Backs onto Open Space
219	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	1	5	25	20	TRUE	20	20	10	10	10	
220	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	1	5	25	20	TRUE	20	20	10	10	10	
221	5 feet off the back	0	0	25	25		20	20	10	10	10	
222	5 feet off the back	0	0	25	25	TRUE	20	20	10	10	10	
223	5 feet off the front and 5 feet off the back	1	5	25	20		20	20	10	10	10	
224	5 feet off the front and 5 feet off the back	1	5	25	20	TRUE	20	20	10	10	10	
225	5 feet off the front and 5 feet off the back	1	5	25	20	TRUE	20	20	10	10	10	
301	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	4	15	25	20	TRUE	20	15	10	7.5	7.5	Backs onto Open Space
302	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	3	10	25	25		20	15	10	7.5	7.5	Backs onto Open Space
303	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	4	15	25	20		20	15	10	7.5	7.5	Backs onto Open Space
304	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	1	2.5	25	30		20	20	10	7.5	10	Backs onto Open Space
305	nothing	1	5	25	20		20	20	10	10	15	
306	5 feet off the front and 2 1/2 off each side yard	2	5	25	25		20	20	10	7.5	7.5	
307	5 feet off the front and 2 1/2 off each side yard	3	10	25	20		20	20	10	7.5	7.5	
308	5 feet off the back ands 2 1/2 off each side	3	10	25	25		20	15	10	7.5	7.5	
309	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	4	15	25	20		20	15	10	7.5	7.5	
310	5 feet off the back ands 2 1/2 off each side	3	10	25	25		20	15	10	7.5	7.5	
311	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	3	12.5	25	20		20	15	10	7.5	10	Backs onto Open Space

LOT	FOOTAGES NEEDED OFF FOR FRONT YARDS, BACK YARDS, AND SIDE YARDS	# of Adj	Total Feet Adj	Normal Front	Actual Front	Non-Staggered	Normal Rear	Actual Rear	Normal Side	Actual Side 1	Actual Side 2	Notes
312	5 feet off the front	1	5	25	20	TRUE	20	20	10	10	10	Backs onto Open Space
313	5 feet off the front and 2 1/2 off each side yard	3	10	25	20	TRUE	20	20	10	7.5	7.5	Backs onto Open Space
314	5 feet off the back ands 2 1/2 off each side	3	10	25	25		20	15	10	7.5	7.5	Backs onto Open Space
315	5 feet off the front and 2 1/2 off each side yard	3	10	25	20		20	20	10	7.5	7.5	Backs onto Open Space
316	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	3	10	25	25		20	15	10	7.5	7.5	Backs onto Open Space
317	5 feet off the front and 2 1/2 off each side yard	3	10	25	20		20	20	10	7.5	7.5	Backs onto Open Space
318	5 feet off the back	2	7.5	25	25		20	15	10	7.5	10	Backs onto Open Space
319	5 feet off the front and 2 1/2 off each side yard	3	10	25	20		20	20	10	7.5	7.5	Backs onto Open Space
320	5 feet off the back ands 2 1/2 off each side	3	10	25	25		20	15	10	7.5	7.5	Backs onto Open Space
321	2 1/2 feet off ONE side yard	1	2.5	25	25	TRUE	20	20	10	7.5	10	
322	2 1/2 feet off ONE side yard	1	2.5	25	25	TRUE	20	20	10	7.5	10	Backs onto Open Space
323	5 feet off the back ands 2 1/2 off each side	3	10	25	20		20	20	10	7.5	7.5	Backs onto Open Space
324	2 1/2 off each side yard	2	5	25	25		20	20	10	7.5	7.5	Backs onto Open Space
325	2 1/2 feet off ONE side yard	1	2.5	25	25	TRUE	20	20	10	7.5	10	Backs onto Open Space
326	5 feet off the front and 2 1/2 off each side yard	1	5	25	20		20	20	10	10	10	Backs onto Open Space
327	5 feet off the front and 2 1/2 off ONE side yard	3	10	25	20	TRUE	20	20	10	7.5	7.5	Backs onto Open Space
328	5 feet off the front and 2 1/2 off each side yard	3	10	25	20	TRUE	20	20	10	7.5	7.5	Backs onto Open Space
329	2 1/2 each side yard	2	5	25	25		20	20	10	7.5	7.5	Backs onto Open Space
330	5 feet off the front and 2 1/2 off each side yard	1	5	25	20		20	20	10	10	10	Backs onto Open Space
331	2 1/2 off each side yard	0	0	25	25		20	20	10	10	10	Backs onto Open Space
332	5 feet off the front and 2 1/2 off each side yard	1	5	25	20		20	20	10	10	10	Backs onto Open Space
333	2 1/2 off each side yard	1	2.5	25	25		20	20	10	7.5	10	Backs onto Open Space
334	5 feet off the front, 5 feet off the back, and 2 1/2 off each side yard	4	15	25	20		20	15	10	7.5	7.5	Backs onto Open Space
Totals		65	13			21						
	>2	32										







## Staff Report Town of Hideout Planning Commission

**Date:** September 2, 2020  
**Applicant:** Holmes Homes Lakeview Estates LLC  
**Subject:** Final Review – Lakeview Estates (Van den Akker Property)  
**Recommendation:** Final Approval with conditions

### **BACKGROUND:**

The proposed Lakeview Estates subdivision is located along Longview Drive between the Deer Waters Phases II and III subdivisions. The Applicant has proposed developing 69 lots in 3 phases on approximately 23 acres. The subdivision is within the boundaries of the master development agreement and thus will be part of the Community Preservation Association (CPA).



*Approximate location of Lakeview Estates*

### **Roadway Cross Section**

The development involves the needed upgraded roadway width necessary for future Town of Hideout roads. The cross section consists of 26 feet of asphalt width, 2.5' Hideout standard modified curb and gutters, and a 10' ROW on each side of the road.



**Lot Sizes and Setbacks**

Unless otherwise noted, lots will have 10-foot side setbacks, 15 to 20-foot rear setbacks, and alternated front setbacks of 20 or 25 feet back from the back of the curb on each side of the road. This, combined with the roadway cross section improvements, will improve access and egress in the town to Public Works and first responders. Lot sizes range from 5,720 SF to 14,742 SF.

**Public Street Access**

Each lot has adequate access to public streets. The Phasing has been improved to meet County Fire code for accessibility. Phase I connects to Star Gazer Circle in Deer Waters Phase I and will have a temporary fire turn-around at the end. Phase II connects to Upside Drive in the Shoreline Phase II development and will connect through to Phase I. Phase III will connect to Longview Drive between Deer Waters Phases II and III and have a tee south into what may be Shoreline Phase III.

**Sewer Lift Station Improvements**

T-O Engineers has built a sewer model and is very close to presenting a Capital Facilities Plan for the town's wastewater collection system. Some decisions need to be made to handle various issues identified by our model. For now, the plan with the Lakeview Estates development is to gravity-feed the wastewater into the Shoreline Phase II lift station.

We recommend a condition of approval that “the applicant, upon the Town’s determination of the wastewater collection system needs, that the applicant be required to work with the Town to manage the wastewater as directed by the Town Engineer. This will involve assisting in paying for improvements to the Vantage Lane lift station.

This condition of approval has been discussed with the applicant and they understand.

**Snow Storage**

Snow storage will need to be shown on the Plat.

**Storm Drain**

The site consists of a detention basin on the southwest corner of the site. The applicant has presented calculations showing that the basin and conveyance system has the necessary volume and capacity.

**Overhead Power**

The site does not require relocation of the overhead power easement located on the West side of the property. However, this should be shown on the Plat.

**Outstanding Developer Balance**

Based on our understanding, the applicant holds no outstanding balance with the Town of Hideout. Town to confirm and reconcile prior to Planning Commission approval.

**Utility (Water and Sewer) Will-Serve Letters**

Utility Will-Serve letters from the Town of Hideout, JSSD, RMP and Dominion Energy will be necessary prior to the start of construction.

**Water and Sewer Reports**

Prior to issuance of construction permits, please submit your sewer and water reports for the development.

**Wetlands**

An R4SBC (Riverine, Intermittent, Streambed, Seasonally Flooded) channel runs through the property. The applicant has stated that this drainage channel has been re-routed through Deer Waters. Before construction begins, a letter will be required from a Wetlands Ecologist addressing whether the plans adequately manage this drainage channel.

**Retaining Wall Plans**

The final plan set did not include stamped retaining wall plans and details. These must be presented prior to construction permit approval.

**Final Design Review Comments**

All comments made during the final design review cycles have been corrected in the most recent plan set submitted for the third review cycle.

**Construction Timeframe**

We support the applicant obtaining a grading permit to get started with construction as soon as possible. It is late in the season to start grading. The applicant has stated that the grading for Phase One and Phase Two are to occur simultaneously. This may result in the need for additional temporary de-silting basins, temporary rip-rapping or other erosion control effort.

**RECOMMENDATION:**

Staff recommends that the commission review the proposed development based on the information in this report and in the attached plan set. If agreed, we recommend final approval of the Lakeview Estates (Van den Akker property) Subdivision with the following conditions:

1. *A letter be submitted before construction begins from a Wetlands Ecologist addressing whether or not the plans adequately manage the drainage channel mapped through this property.*
2. *Will-serve letters from all utility providers be presented prior to the start of construction.*
3. *A plat be presented and approved prior to building permit issuance that matches the approved construction plans for each of the 3 phases of development showing all necessary requirements including snow storage and proper setbacks, PUEs and any other pertinent notes or deed restrictions.*
4. *Upon the Town's determination of the wastewater collection system needs, that the applicant be required to work with the Town to manage the wastewater as directed by the Town Engineer. This will involve assisting in paying for improvements to the Vantage Lane lift station.*
5. *Stamped retaining wall plans be presented and approved prior to obtaining construction permits.*
6. *Water and sewer reports for the development must be submitted prior to issuance of construction permits.*
7. *A SWPPP permit be obtained and NOI filed with Hideout prior to construction.*

**ATTACHMENTS:**

SITE DEVELOPMENT CONSTRUCTION PLANS, LAKEVIEW ESTATES, FINAL

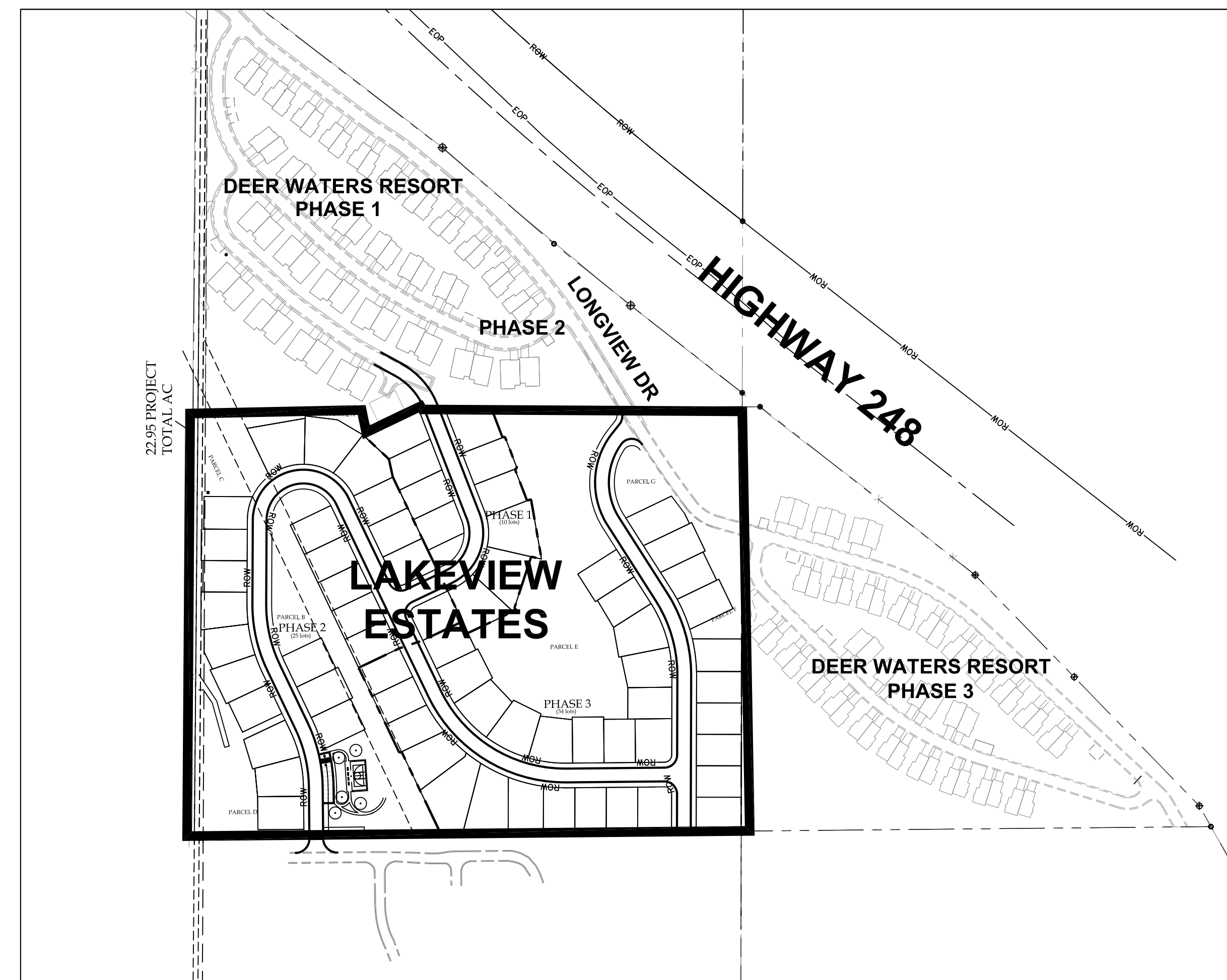
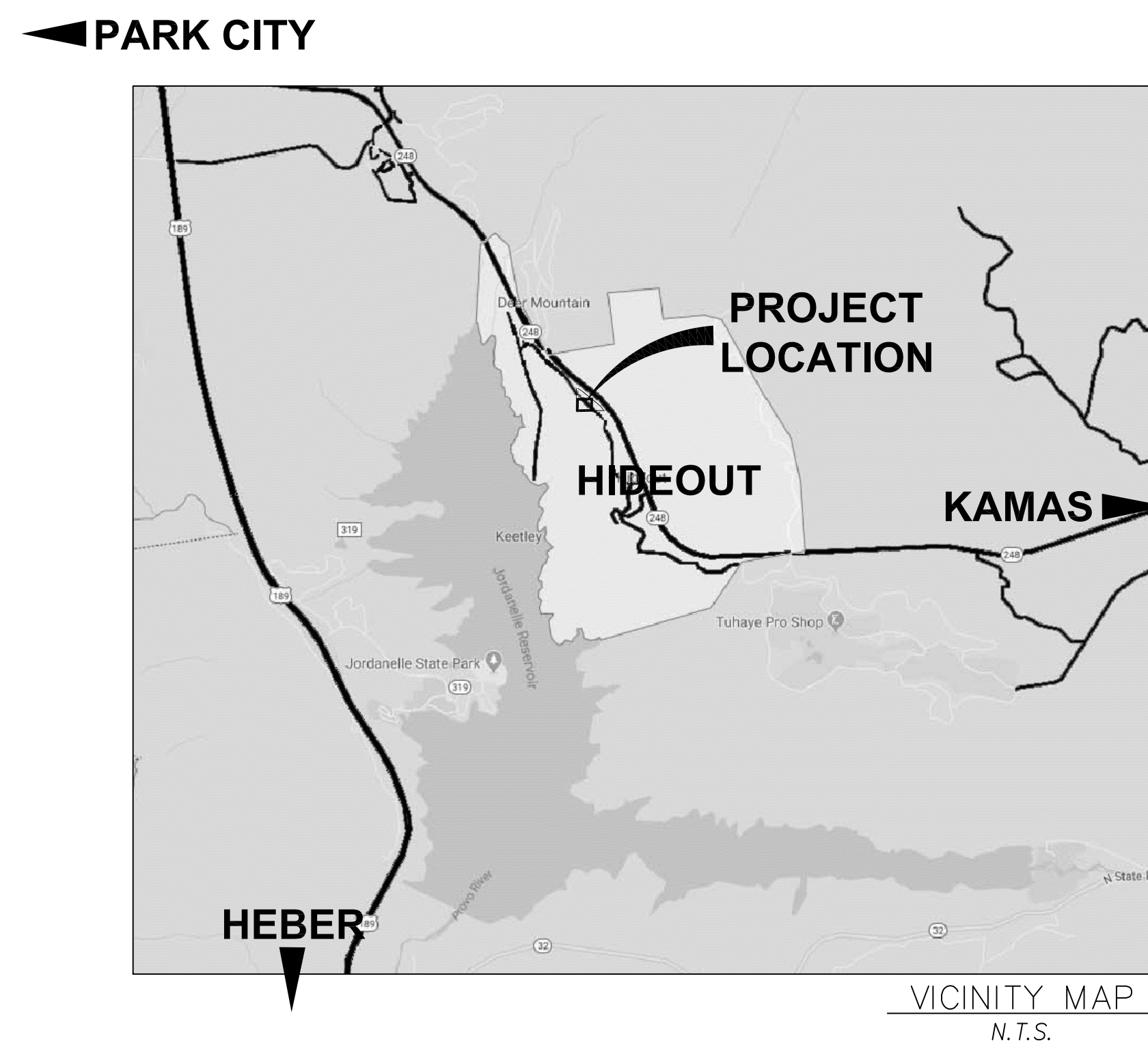
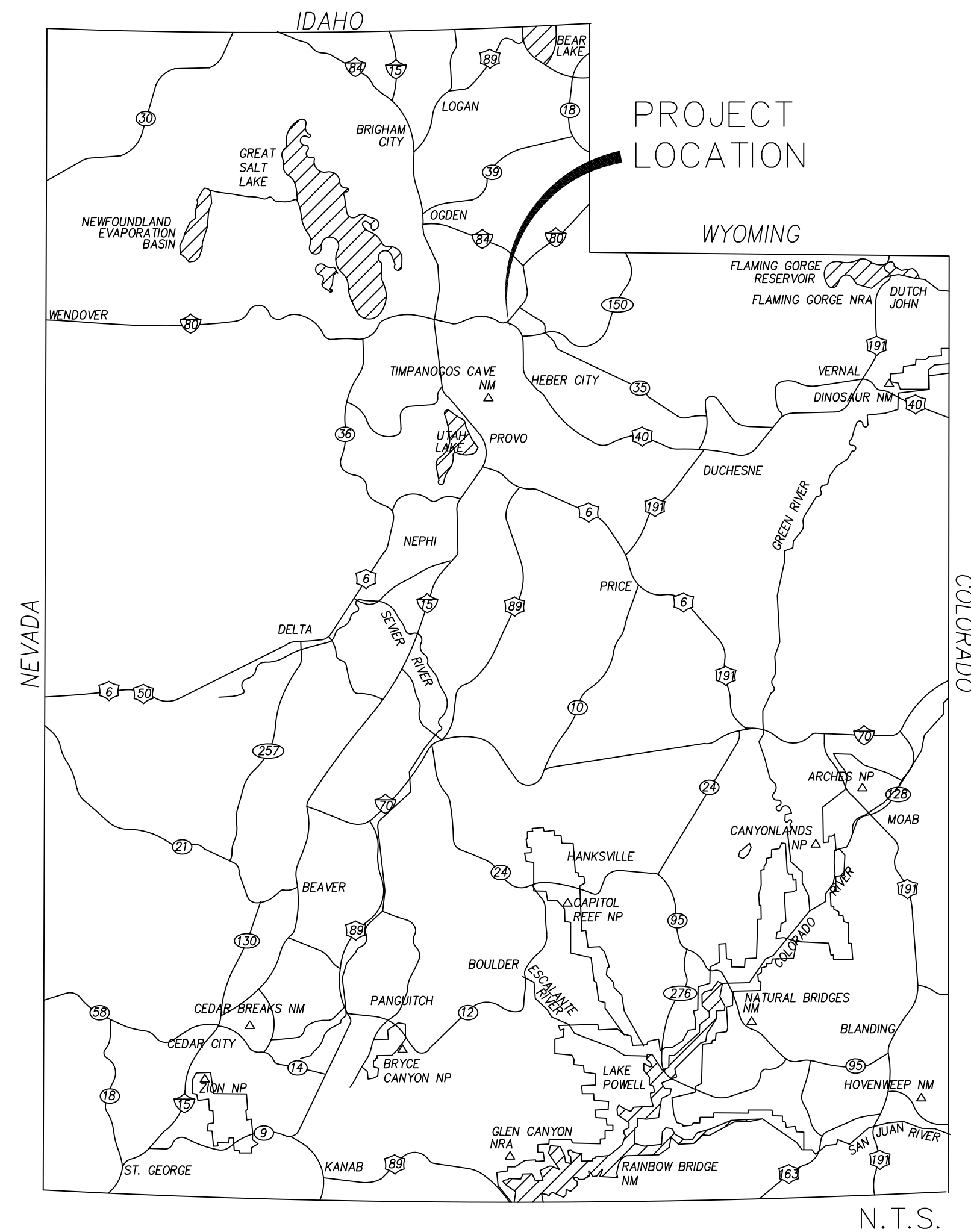
# SITE DEVELOPMENT CONSTRUCTION PLANS

# LAKEVIEW ESTATES

LOCATION

DEVELOPMENT IS IN THE NORTHWEST QUARTER OF  
SECTION 17, TOWNSHIP 2 SOUTH, RANGE 5 EAST, SALT LAKE BASE AND MERIDIAN

# FINAL



VICINITY MAP  
N.T.S.

AUG 27, 2020

## INDEX OF SHEETS

1	TITLE SHEET
1A	PROJECT NOTES
N/A	PLATS (not included in this set)
2	EXISTING SITE AND DEMO PLAN
3	OVERALL PROJECT SITE PLAN
4	CONSTRAINTS and SETBACKS MAP
5	DRAINAGE MAP
6	TRAIL PLAN
7	RETAINING WALL PLAN
8	SETBACKS AND CONSTRAINTS

SWPPP	STORM WATER POLLUTION PROTECTION PLAN
ER1-ER2	EROSION CONTROL DETAILS

G1-G4	GRADING SHEETS (1"=30')
G5	CUT/FILL AND MASS GRADING SHEET

U1	CULINARY WATER UTILITY PLAN
U2	SANITARY SEWER UTILITY PLAN
U3	STORM WATER UTILITY PLAN
U4	PROPOSED DRY UTILITIES

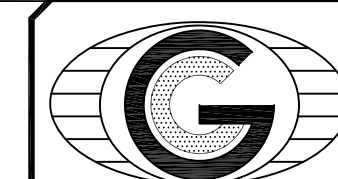
PP1	ROAD 3-3
PP2	ROAD 3-2 STA: 0+00 to 7+00
PP3	ROAD 3-2 STA: 7+00 to 14+00
PP4	ROAD 3-2 STA: 14+00 to END
PP5	ROAD 3-1
PP6	DETENTION POND
PP7	SD PASS THROUGH
PP8	SD PASS THROUGH
PP9	SD PASS THROUGH
PP10	SLOPE CROSS SECTION
PP11	OFFSITE SEWERS PROFILES

SSL	SIGN, STRIPE, & LIGHTING
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DETAIL SHEETS	
D1	ROADWAY DETAILS
D2	SANITARY SEWER DETAILS
D3	WATER LINE DETAILS
D4	STORM DRAINAGE DETAILS
D5	POND OUTLET DETAIL

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*REVISIONS*

[illegible]

**GATEWAY CONSULTING, Inc.**

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paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING  
CONSTRUCTION MANAGEMENT



<u>8-27-2020</u> DATE:	<u>1-TITLE</u> PROJECT:	<u>1</u> SHEET NO.	
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## JSSD CONSTRUCTION NOTES

1. All work to be done in conformity to HIDEOUT TOWN standards and specification and as directed by the Jordanelle Special Service District engineer or his representatives.

2. All sewer and water system construction shall be in accordance with Jordanelle Special Service District standards and specifications. Contractor to obtain current standards from the Jordanelle Special Service District.

3. Contractor shall contact blue stakes prior to beginning construction, to facilitate the location and identification of existing underground utilities.

4. Contractor responsible for protection of all utilities shown or not shown.

5. Contractor shall be responsible to obtain and pay for necessary permits.

6. Contractors shall attend all pre-construction conferences.

7. Contractor shall be responsible for all public safety and OSHA standards.

8. Contractor shall field verify locations and invert elevations of all existing sewer facilities and other utilities prior to building or staking any new sewer lines. Discrepancies need to be reported to Owner and Civil Engineer

9. Communications, gas, electrical and cable utilities to be installed outside of pavement. See road cross section on page D-1

10. The following is only a portion of the JSSD Code. All sewer pipe will conform to Jordanelle Special Services District Design Standards Section 300, the Utah public Rules R317-3, Uniform plumbing Code, latest edition.

11. PVC sewer pipe shall be installed as per ASTM D 2321 and/or ASTM D 2855 as applicable. All PVC pipe is to be laid straight in line.

12. HDPE pipe to be installed as per manufacturers recommendation. HDPE is to be used on some curves at a minimum of 5% slope and as per manufacturers recommendation and these plans.

13. All sewer lines shall be installed with tracer wire of 12 gauge, 600 volt copper wire, PVC jacketed for underground services. The wire will be secured continuously along the alignment of the pipe and at all service connections at 20ft intervals. Contractor shall bring loops of the tracer wire to the top of all cleanouts and manholes. Tracer wire is subject to District inspection.

14. Sanitary sewer laterals shall extend past the ROW into each lot 5 feet. Laterals deeper than 15 feet shall extend past the ROW into each lot 10 feet. Minimum slope for sewer laterals is 2%. All sewer laterals require 2 cleanouts minimum as per JSSD Section 307.4. All sewer laterals will be inspected by District before backfill.

15. A warning tape will be buried 1 to 3 feet above each lateral.

16. Immediately following installation of the lateral, sewer lateral markers (rebar) are to be installed by the contractor at the end of each lateral. The marker is to be placed at the end of the plugged lateral and extended upward 2 feet above the grade, painted green, and is to be visible at Final Construction Approval.

17. The end of the lateral shall be referenced with horizontal distance ties to property corners.

In the event that markers are lost during construction activities the markers and offset hubs shall be reset using acceptable survey practices.

18. An "S" will be stamped on the curb for location of sewer laterals.

19. The following is only a portion of the JSSD Code. See all Jordanelle Special Services District Design Standards Section 400 for culinary water materials and installation.

20. All culinary water lines shall be ductile iron (as per JSSD 403.2.2) rated ANSI/AWWA C150/A21.50 for a minimum of 150 p.s.i. rated working pressure plus 100 p.s.i. surge allowance at a 2to1 factor of safety. Ductile iron pipe shall be a thickness class of 50. The pipe shall have standard asphaltic coating on the outside and shall be lined on the inside cement mortar lining conforming to ANSI/AWWA C104/A21.4.

21. All ductile iron pipe shall be manufactured in the U.S.A. in accordance with the latest revision of ANSI/AWWA for appropriate class.

22. A minimum depth for culinary waterlines from the final grade to the top of the pipe is 7 feet, unless otherwise noted on the plan and profile sheets.

23. Minimum spacing between waterlines and sewer lines is 10 feet horizontally or 18 inches vertically (in times of crossing the waterline shall be above the sewer line). All other utilities shall be spaced a minimum distance of 18 inches from the waterline.

24. All ductile iron valves, hydrants, and buried fittings shall be wrapped with polyethylene wrap. All fittings and valves requiring wrapping shall be wrapped prior to placing concrete thrust blocking. All valves are to be flanged to the adjacent fittings.

25. Corporation stops will be of brass with compression fittings in accordance with AWWA Standard C800. Hot taps are preferred for service laterals with a minimum of 48" between 1-½" taps Use double strap bronze service straps.

All service laterals will be polyethylene conforming to AWWA Standard C800, and ASTM B88. Meter yokes for 1-½" lateral will be Ford VF-66 series. Meter fittings will be standard thread.

All meter boxes will be 48" diameter with a frost free cast iron lid. A 1-inch long, ½ inch wide notch will be cut in each lid for telemetry wire. All top meters' lids shall have one, 1 inch tap and plug for each yoke, to facilitate the remote reading meters used in the District.

The Curb Stop and Curb Box will be a curb valve and cast iron extension-type curb box with arch pattern base with cast iron foot piece as manufactured by Mueller. Normally the meters are provided by the District.

Culinary water meters shall be placed at 10' back of curb with lateral extending an additional 5 feet toward the lot.

All culinary water service laterals shall be marked with a "W" on the curb.

11. The following is only a portion of the JSSD Code. See all Jordanelle Special Services District Design Standards Section 500 for irrigation water crossover, materials and installation.

10. Corporation stops will be of brass with compression fittings in accordance with AWWA Standard C800. Hot taps are preferred for service laterals with a minimum 48" between 2-inch taps. Use double strap bronze service straps.

All service laterals will be purple polyethylene CTS 200 p.s.i. minimum, conforming to AWWA Standard C800, and ASTM B88.

All irrigation meter boxes will be 24-inch x 36-inch for a single 2" meter installation; (refer to Standard Drawing 500.4) The lid will not be required to be frost free. A 1-inch long, ½ inch wide notch will be cut in each lid for telemetry wire. All top meters' lids shall have one, 1 inch tap and plug for each yoke, to facilitate the remote reading meters used in the District.

The Curb Stop and Curb Box will be a curb valve and cast iron extension-type curb box with arch pattern base with cast iron foot piece as manufactured by Mueller. Normally the meters are provided by the District.

Hot taps are preferred for service lines. Mechanical joint ductile iron tapping sleeves may be used for ductile iron type mains.

Irrigation water meters shall be placed at 10' back of curb with lateral extending an additional 5' toward the lot.

All irrigation laterals shall be marked with an "I" on the curb.

## MISC CONSTRUCTION NOTES

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

## GENERAL NOTES:

1) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: HIDEOUT TOWN CONSTRUCTION AND DESIGN STANDARDS, AND ALL AMENDMENTS TO DATE. THE MANUAL OF UNIFIED TRAFFIC CONTROL DEVICES (M.U.T.C.D.), UTAH DEPARTMENT OF TRANSPORTATION (U.D.O.T.) STANDARDS AND SPECIFICATIONS (LATEST EDITION) AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (A.A.S.H.T.O.), CONSTRUCTION STORMWATER FIELD GUIDE, AND THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (U.P.D.E.S.) WHERE APPLICABLE.

2) PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT HIDEOUT TOWN FOR A PRE-CONSTRUCTION CONFERENCE.

3) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.

4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.

5) THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND EXISTENT CONDITIONS EXISTENT WITHIN THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE WILL AND EXPERIENCE TO AVOID THEM, AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.

7) CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS AND UDOT. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMENCING THE WORK, OR AS REQUIRED BY SAID PERMITS.

8) THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDBLE FOR AN AMOUNT EQUAL TO OR THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PLANS AND SPECIFICATIONS.

9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION BY OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK. IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID. SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT. THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.

11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.

12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.

13) THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.

14) THE CONTRACTOR AGREES THAT:

- THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
- THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
- THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
- THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.
- THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
- UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.

15) THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

16) DUST IS TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.

17) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTRICIOLERS MAY BE DONE BY AWARDED SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF THE NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS, WILL BE SUBJECT TO AN EXTRA WORK BACK CHARGE TO THE CONTRACTOR.

18) FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.

19) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

20) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.

21) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

22) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL, AND INSTRUMENTATION EQUIPMENT; PIPES AND STRUCTURES; AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUTS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICE PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHEN NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR PRIOR TO ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES TO THE PROJECT AND AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

23) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

## 24) BENCHMARK:

DESCRIPTION: # 1/4" OF SECT. 17, T2S, R5E  
FOUND MONUMENT BRASS MON.

## CLEARING AND GRADING NOTES:

1) CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH HIDEOUT TOWN STANDARD SPECIFICATIONS, AND THE RECOMMENDED EARTHWORK SPECIFICATIONS FOUND IN THE LATEST REPORT OF GEOTECHNICAL INVESTIGATION.

2) THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON A TOPO SURVEY SUPPLIED BY THE OWNER.

3) THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ALL TEMPORARY EROSION CONTROL, AND MAINTENANCE, AND SHALL PROVIDE EROSION AND SEDIMENT CONTROL FORMS TO THE CITY. FOR ADDITIONAL EROSION CONTROL INFORMATION, SEE "EROSION CONTROL/VEGETATION PLAN" SHEETS AND REPORTS. "SWPPP AND NO REQUIRED TO BE FILED AND APPROVED WITH TOWN OF HIDEOUT PRIOR TO COMMENCEMENT OF CONSTRUCTION"

4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. COPIES OF THE SOILS REPORT MAY BE OBTAINED AT THE OFFICE OF CMT ENGINEERING LABORATORIES WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY, AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION OPERATIONS.

## DEWATERING NOTES:

1) THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.

2) THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.

3) SUMPS SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.

4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOLTS," DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF THE NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATIONS SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES, AND SEWERS. IF A UDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

## UNDERGROUND UTILITIES:

1) THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, COMMUNICATIONS, ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES, SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.

2) PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 (or 811) 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL THE CONTRACTOR SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.

3) THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 69 - TRENCHES, ALONG WITH SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES. ANY EXCAVATION GREATER THAN 10 FEET IN DEPTH REQUIRES A TRENCH BOX.

4) PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRIC LINES, COMMUNICATIONS LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.

5) IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.

6) THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS:

\* TRENCHES WITH SLOPES < 10% = DAMS AT 500' INTERVALS  
\* TRENCHES WITH SLOPES > 10% = DAMS AT 100' INTERVALS

7) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF HIDEOUT TOWN FOR A LOAD REQUIREMENTS.

8) ALL CONSTRUCTION AND MATERIALS FOR THE SEWER MAIN AND LATERALS MUST COMPLY WITH THE JSSD DISTRICT. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN.

9) ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF JSSD PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

10) WATER LINES SHALL BE A MINIMUM OF 18" HORIZONTALLY FROM SEWER MAINS. CROSSINGS SHALL MEET STATE HEALTH STANDARDS. CONTRACTOR RESPONSIBLE FOR ALL NECESSARY FITTINGS AND THRUST BLOCKS.

11) THE CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH THE REGULATORY AGENCY STANDARD SPECIFICATIONS.

12) ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.

## SURFACE IMPROVEMENTS:

1) SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHOULD BE CONDUCTED PER THE LATEST GEOTECH REPORT. ONCE ROADWAY EXCAVATION STARTS, THE SUB GRADE SHOULD BE SCARIFIED AND RECOMPACT AT THE PROPER MOISTURE CONTENT TO 96 PERCENT RELATIVE DENSITY (STANDARD PROCTOR ASTM D-1557). THE NATIVE SUB GRADE SHOULD BE FIRM AND NON-YIELDING PRIOR TO SUB BASE PLACEMENT. EVERY EVERY EFFORT SHOULD BE MADE TO AVOID EXPOSING NATIVE SUB-GRADES TO EXCESS MOISTURE.

2) ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING, UNLESS OTHERWISE NOTED. IN PAVED AREAS, PROVIDE A 1 FOOT BY 1/2 FOOT CONCRETE COLLAR. SET CONCRETE COLLAR 3/8 INCH HIGHER THAN FINISH GRADE AT OUTER EDGE. PROVIDE CONCRETE COLLAR FOR ALL VALVES AND MONUMENTS PER HIDEOUT TOWN STANDARD SPECIFICATIONS. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.

3) PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.

4) INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH HIDEOUT TOWN DEVELOPMENT GUIDELINES.

5) PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT TO THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY OF HIDEOUT TOWN, AND UTAH POWER TO HAVE THE ELECTRICAL SYSTEM AND ALL STREET LIGHTS ENERGIZED.

6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FINAL STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.

7) STRIPING AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH UPW SECTIONS 01570 AND 02580.

## DESIGN TEAM

## CLIENT/DEVELOPER/

## LAND OWNER

LAKEVIEW ESTATES LLC  
2265 E. MURRAY HOLLADAY ROAD  
HOLLADAY UT 84117

## LAND PLANNING:

GATEWAY CONSULTING  
PO BOX 951005  
SOUTH JORDAN, UTAH 84095  
801-433-0774  
F: 801-432-7050

## CIVIL ENGINEERING,

## SURVEYING:

BOUNDARY CONSULTANTS  
8554 W 2425 N  
HOOPER, UT 84315  
801-792-1569  
cmt@boundaryconsultants.biz

CIVIL ENGINEERING,  
ENVIRONMENTAL, SOILS/GEOLGY:

Nathan D. Pack, P.E.  
Geotechnical Engineer  
CMT Engineering Laboratories  
435-757-2844  
nate.pack@cmte laboratories.com

## CIVIL ENGINEERING:

GATEWAY CONSULTING  
PO BOX 951005  
SOUTH JORDAN, UTAH 84095  
801-433-0774  
F: 801-432-7050

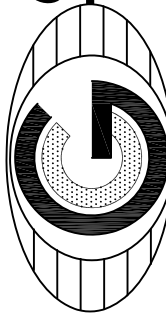
## CONTRACTOR:

TBD

## CMT ENGINEERING LABORATORIES

2800 S Redwood Road  
West Valley, UT 84119  
TELEPHONE 801-908-5859

GATEWAY CONSULTING, Inc.



LAKEVIEW ESTATES

PROJECT NOTES  
AND CONTACT INFORMATION

5-27-2020  
PLOT DATE:

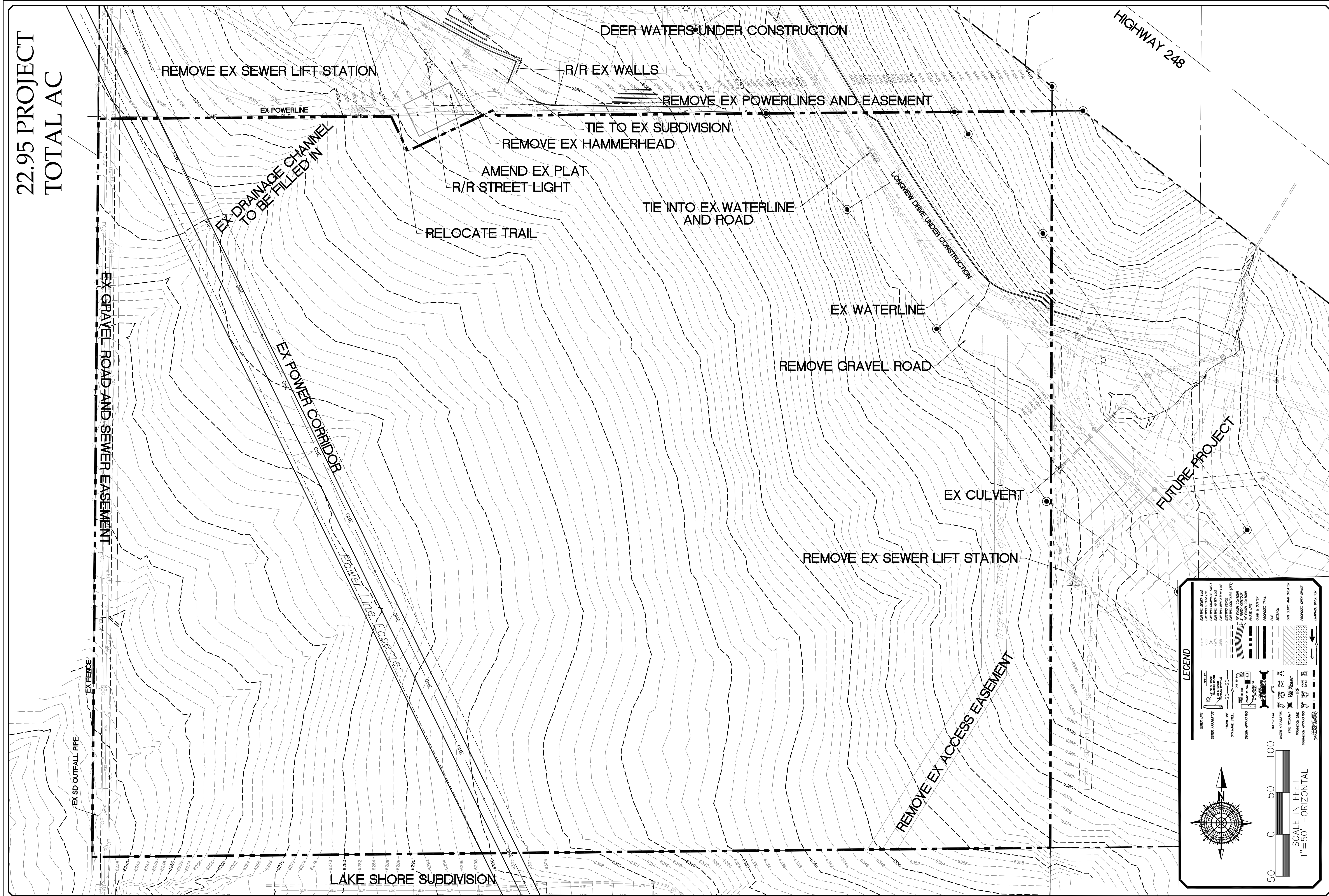
HIDEOUT  
TOWN



SHEET NO. 1A



**22.95 PROJECT TOTAL AC**

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ORIG. DATE:	7-1-19
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DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	1"=50'

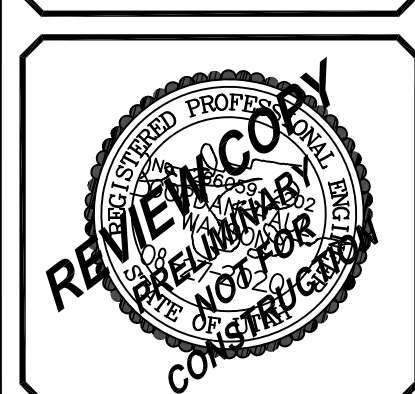
**GATEWAY CONSULTING, Inc.**  
P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7050  
paul@gatewayconsultingllc.com

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**CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT**

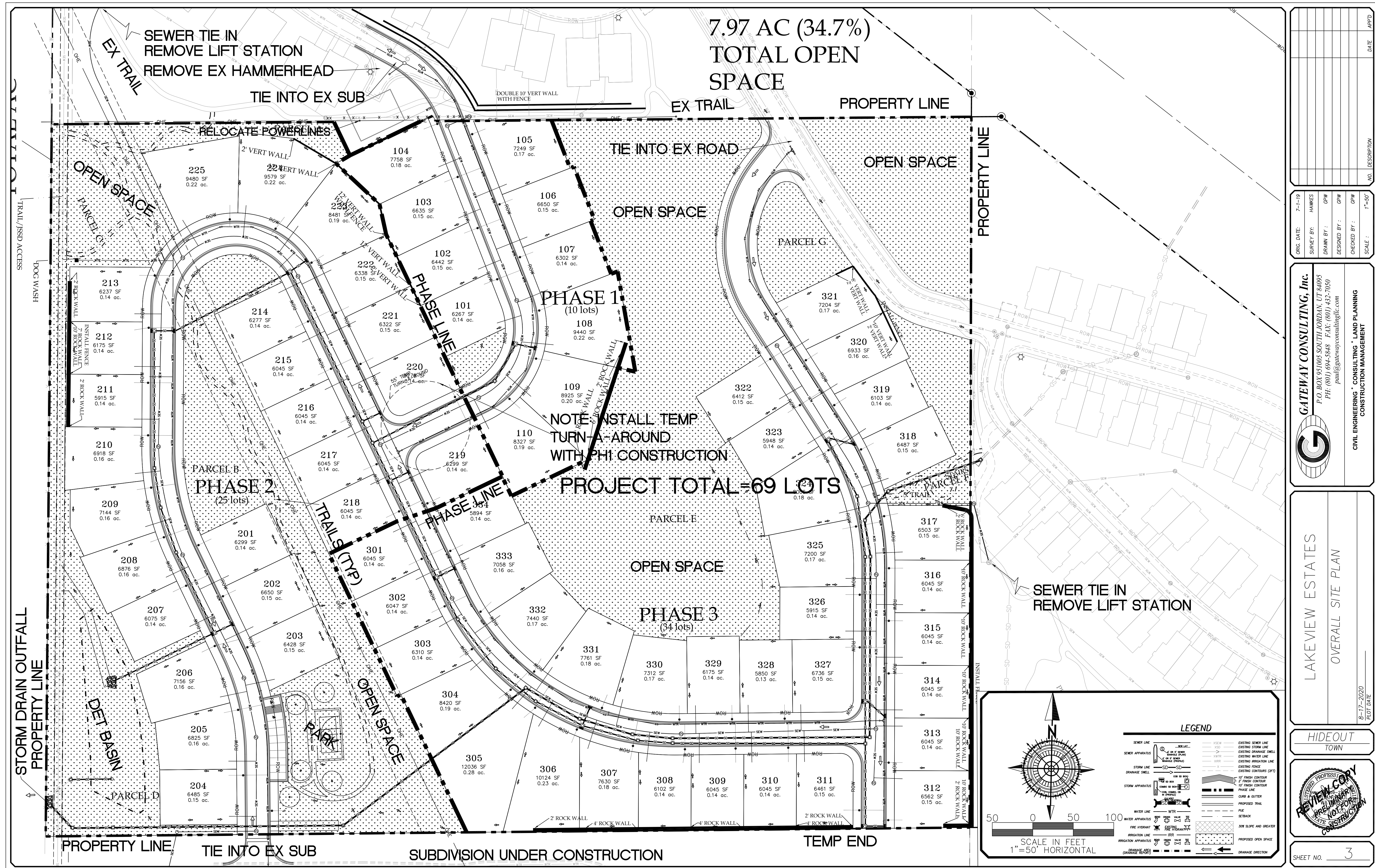
LAKEVIEW ESTATES  
EXISTING CONDITIONS  
DEMOLITION PLAN  
8-27-2020  
PLOT DATE

HIDEOUT  
TOWN

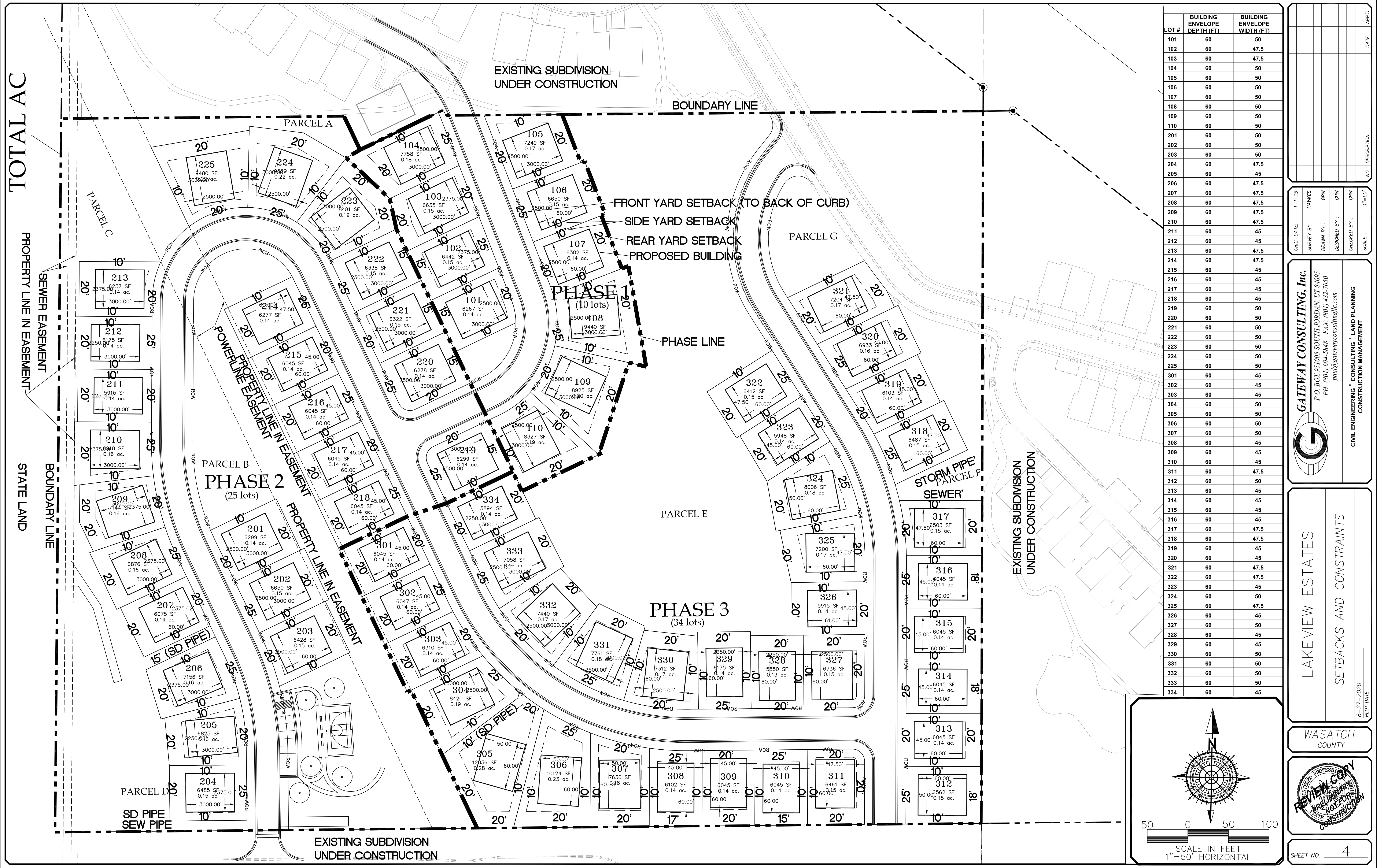


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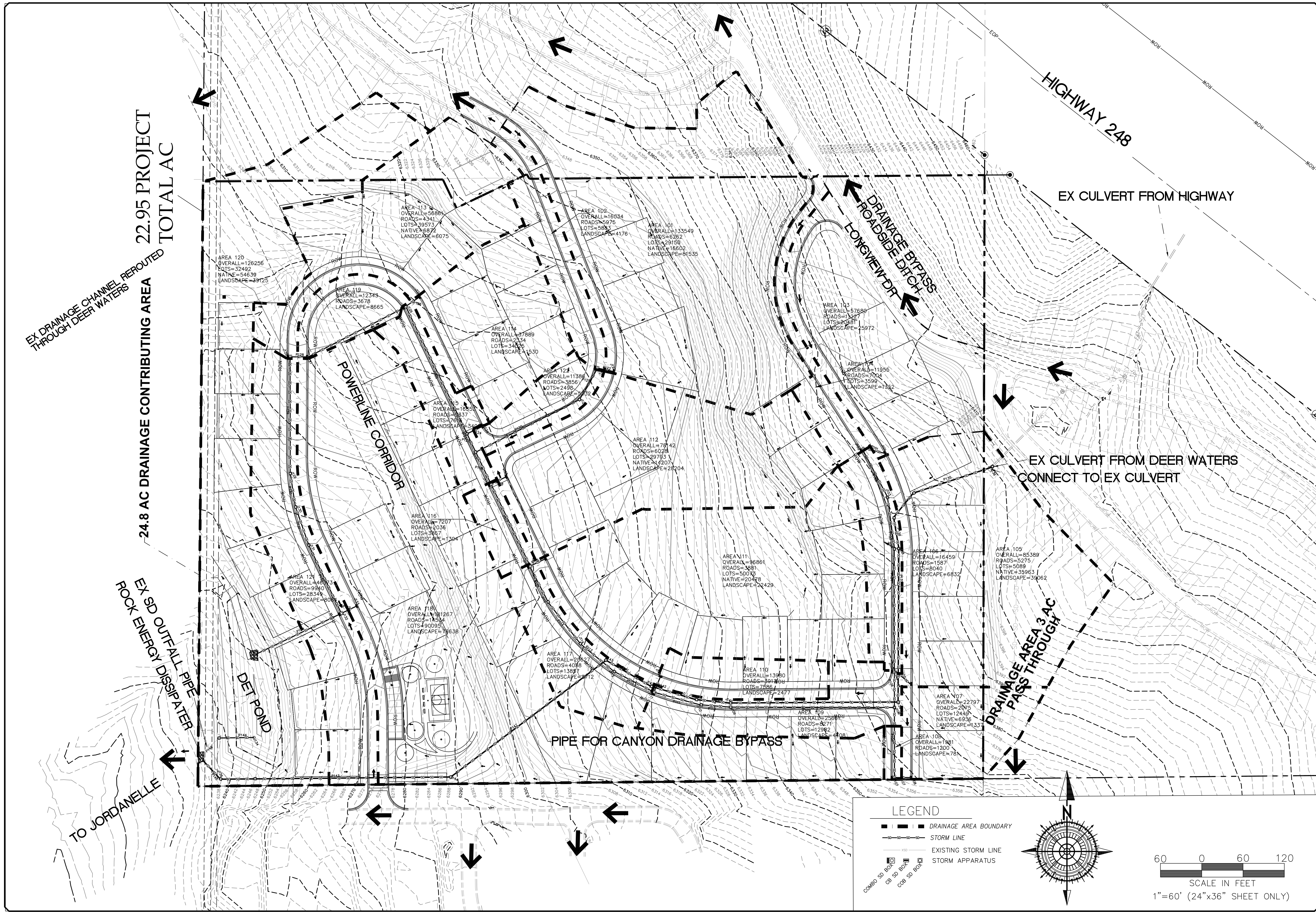






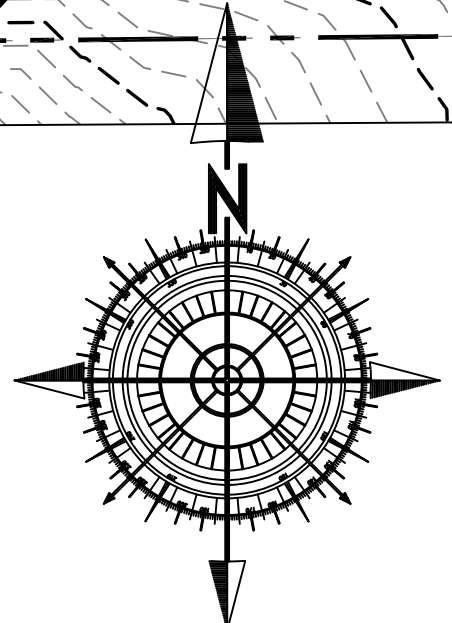






**LEGEND**

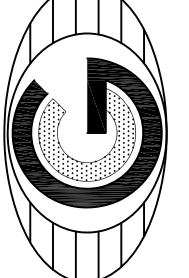
- DRAINAGE AREA BOUNDARY
- STORM LINE
- EXISTING STORM LINE
- STORM APPARATUS
- COMBO SD BOX
- CB SD BOX
- COB SD BOX



60 0 60 120  
SCALE IN FEET  
1"=60' (24"x36" SHEET ONLY)

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 7-1-19	GPW
SURVEY BY: GPW	GPW
DRAWN BY: GPW	GPW
DESIGNED BY: GPW	GPW
CHECKED BY: GPW	GPW
SCALE: 1"=60'	



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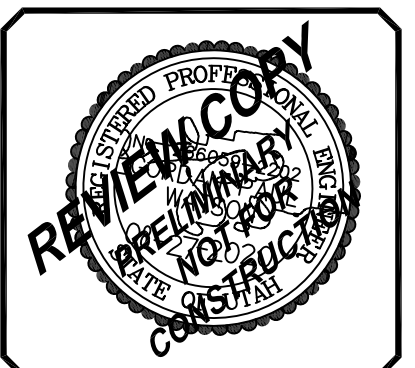
CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT

LAKEVIEW ESTATES

DRAINAGE PLAN

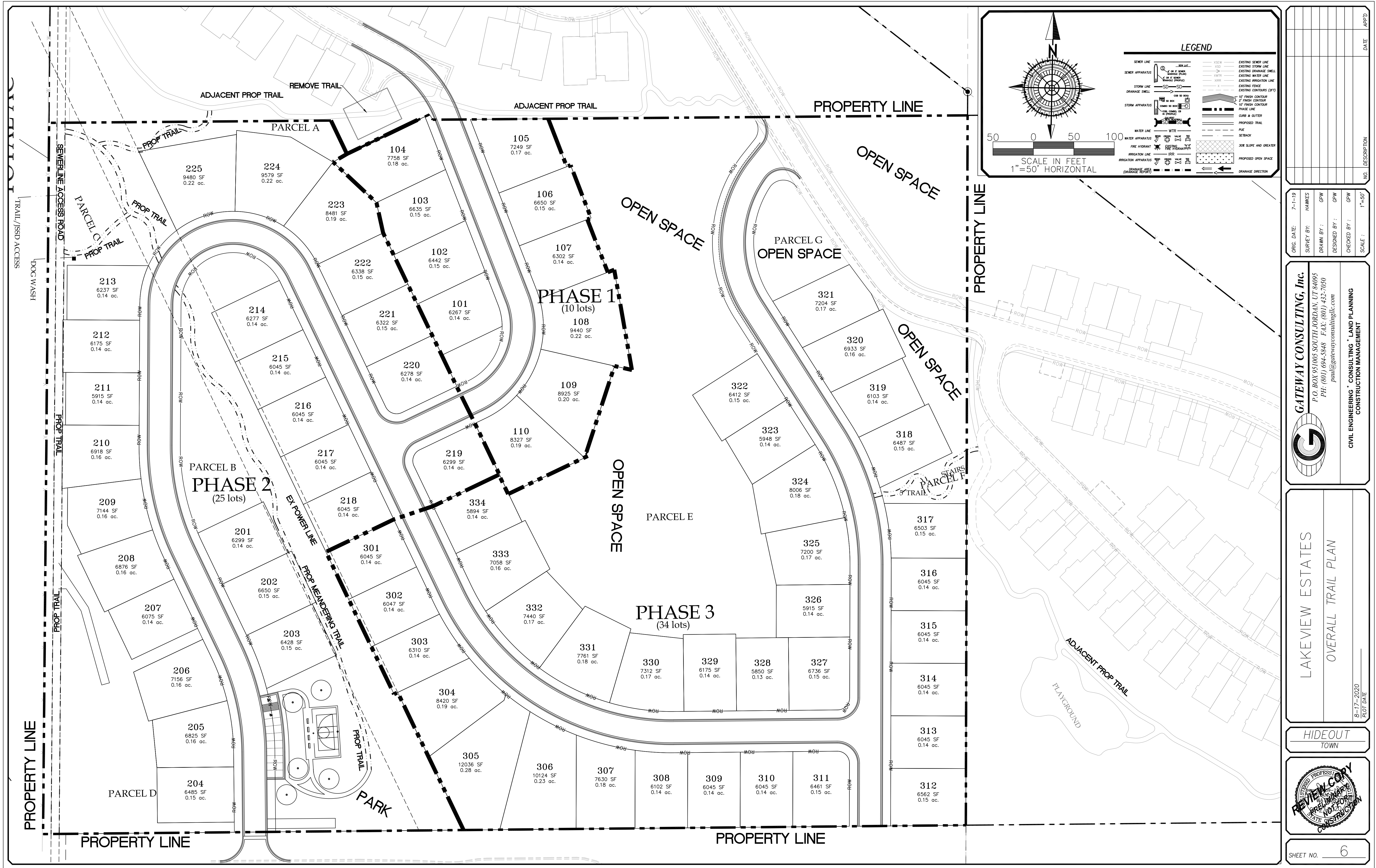
PRINT DATE: 8-27-2020

HIDEOUT TOWN



SHEET NO. 5





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DRAWN BY:	GPW		
DESIGNED BY:	GPW		
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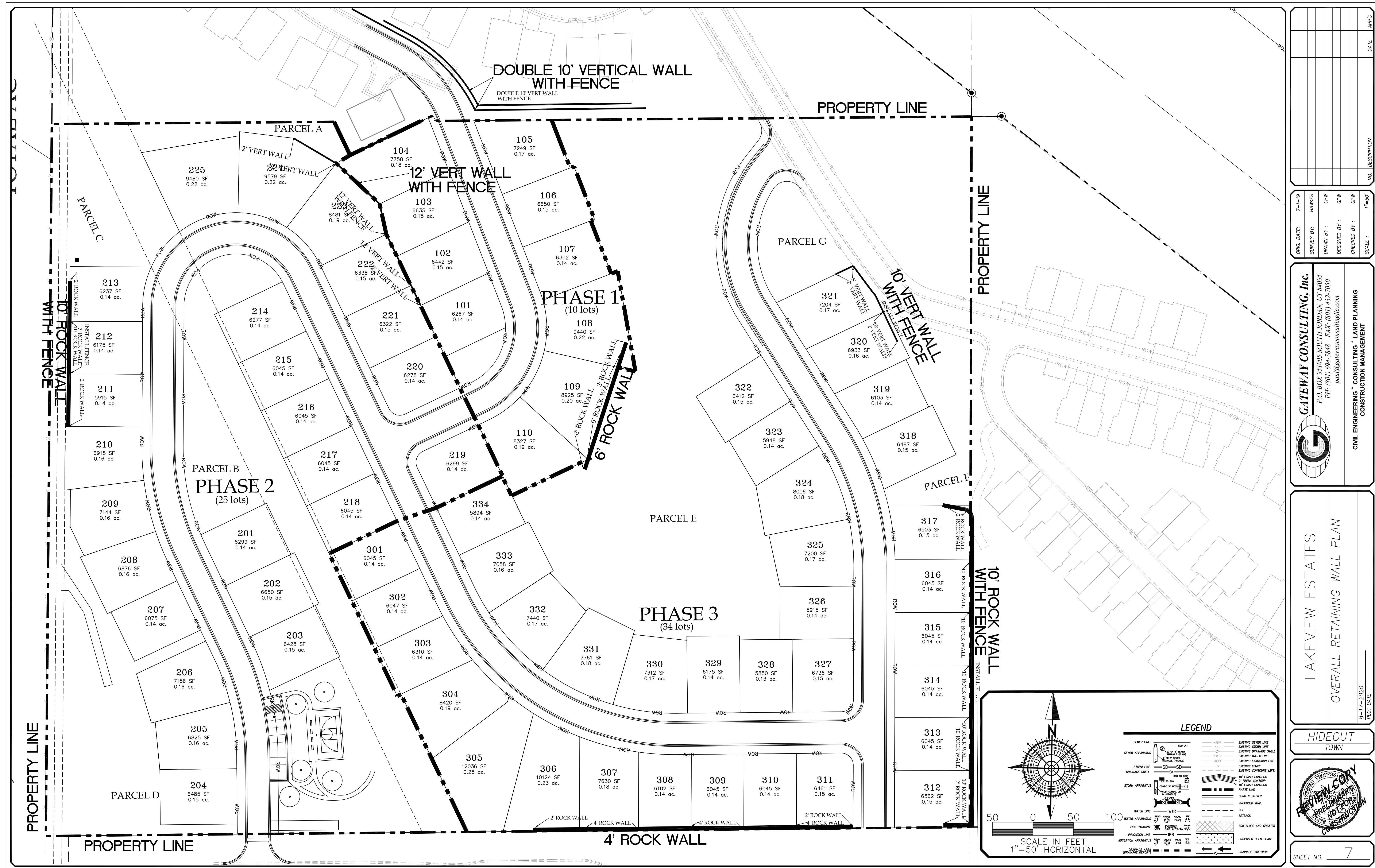
<b>GATEWAY CONSULTING, Inc.</b> P.O. BOX 951005 SOUTH JORDAN, UT 84095 PH: (801) 694-5848 FAX: (801) 432-7050 paul@gatewayconsultingllc.com	<b>CIVIL ENGINEERING * CONSULTING * LAND PLANNING</b> CONSTRUCTION MANAGEMENT
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LAKEVIEW ESTATES	OVERALL TRAIL PLAN
8-17-2020	DATE

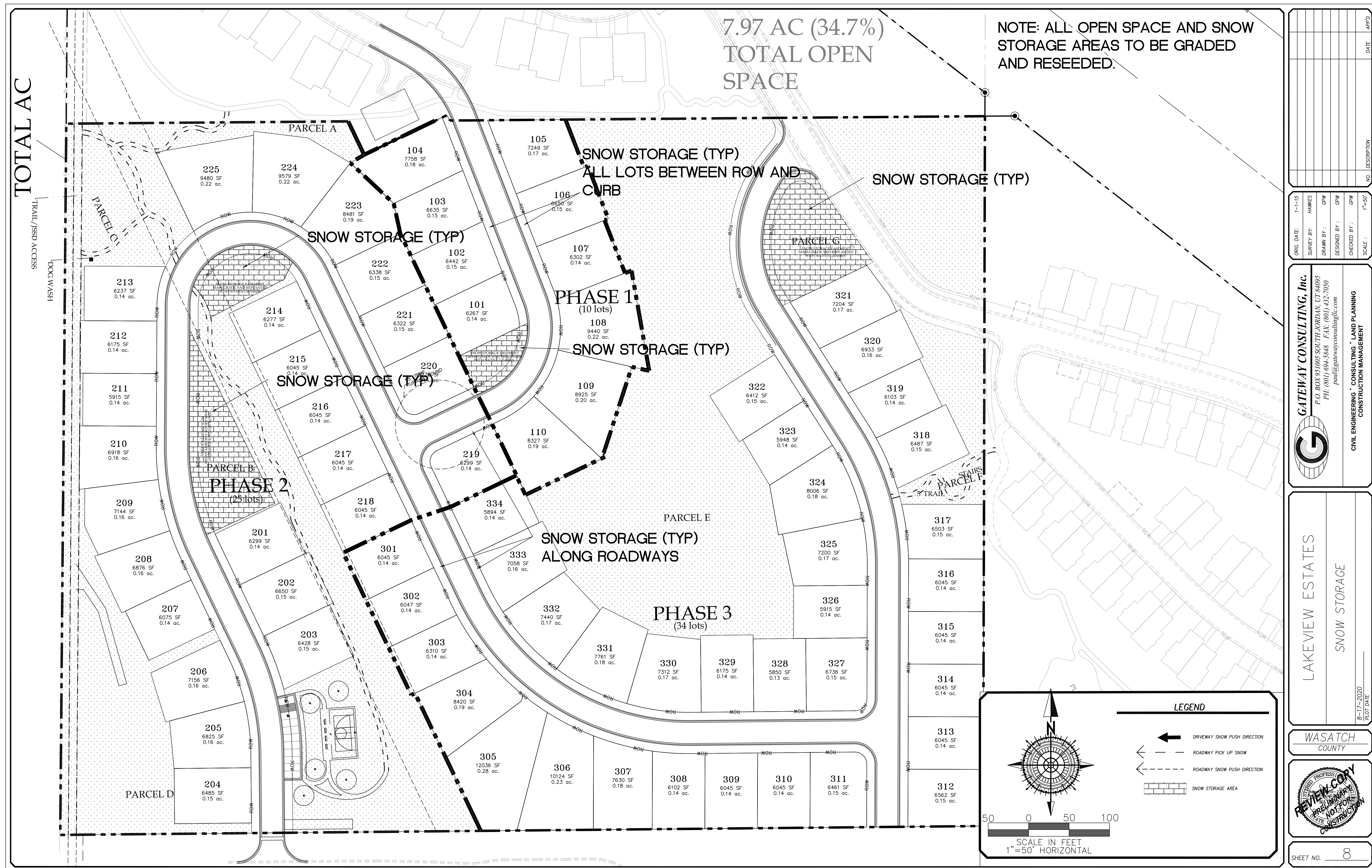
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REVIEW COPY NOT FOR CONSTRUCTION
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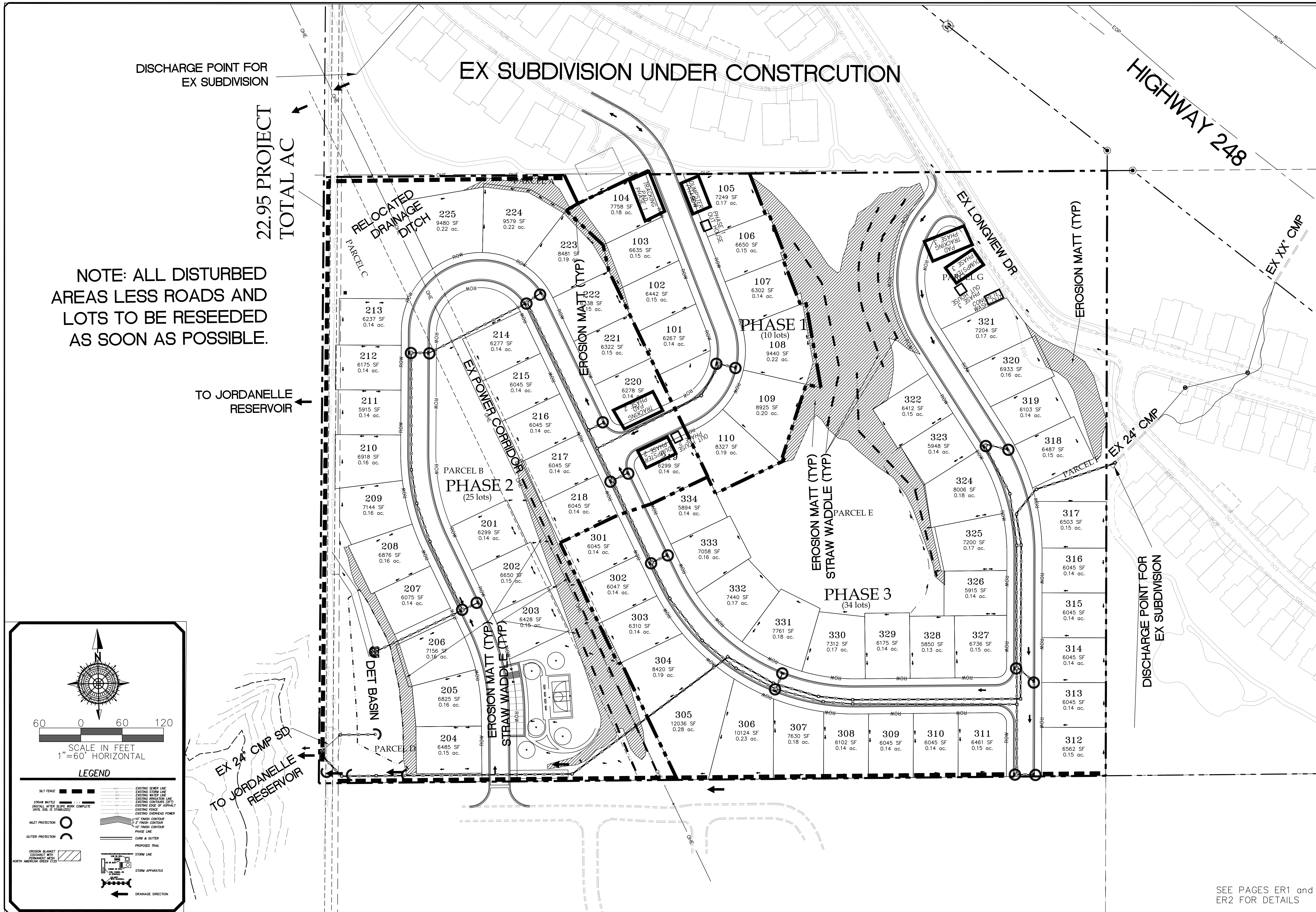
SHEET NO. 6
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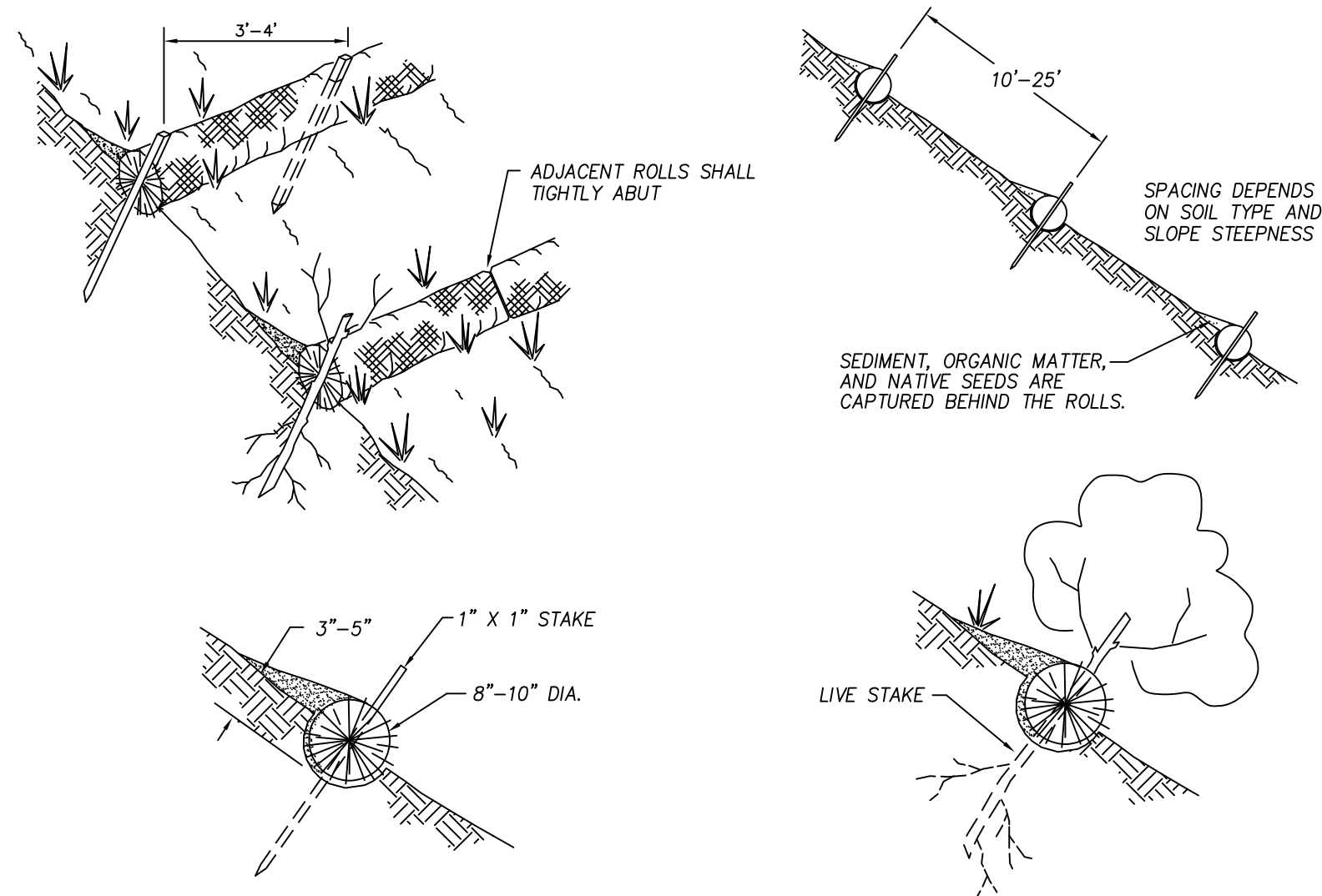
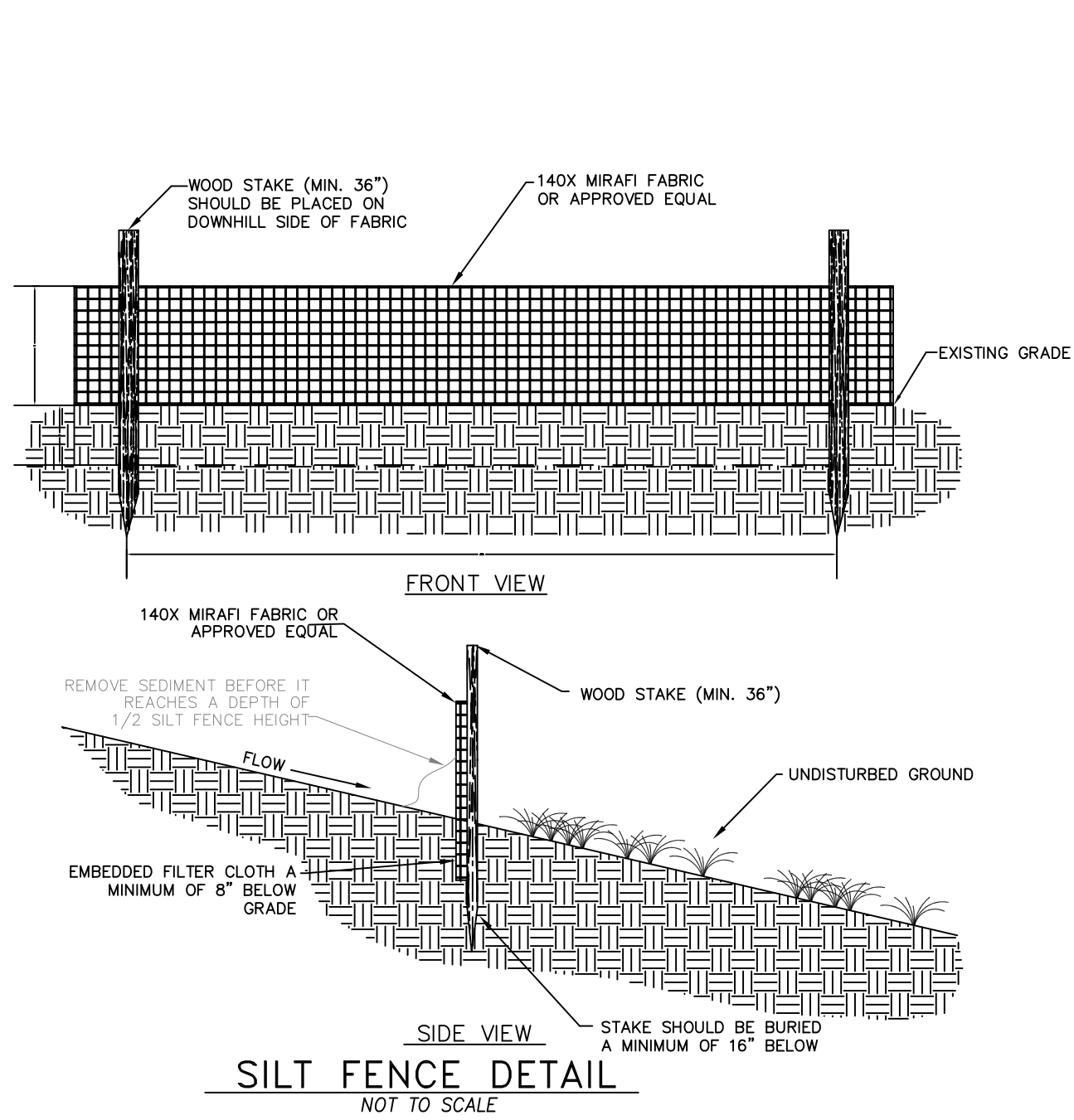




GATEWAY CONSULTING, Inc. P.O. BOX 951005 SOUTH JORDAN, UT 84095 TEL: (801) 694-5848 FAX: (801) 432-7050 paul@gatewayconsultingllc.com		CIVIL ENGINEERING * CONSULTING * LAND PLANNING CONSTRUCTION MANAGEMENT	
LAKEVIEW ESTATES		STORM WATER POLLUTION PREVENTION	
HIDEOUT TOWN		PRINT DATE: 8-27-2020	
REVIEWED FOR CONSTRUCTION		SHEET NO. SWPPP	
DATE: 7-1-19		NO. 1	
SURVEY BY: HAWKES		DATE: 7-1-19	
DRAWN BY: GPM		NO. 1	
DESIGNED BY: GPM		NO. 1	
CHECKED BY: GPM		NO. 1	
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**NOTES:**

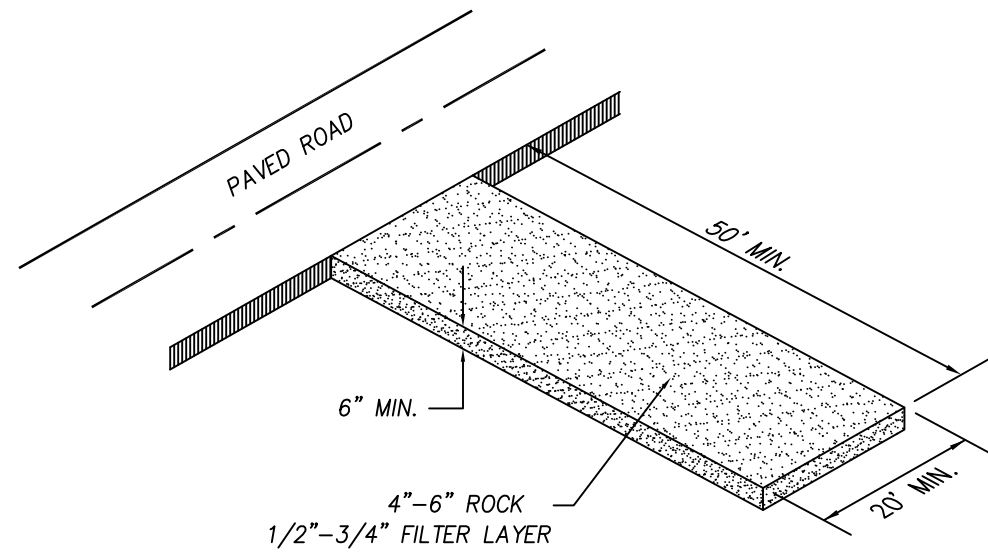
Straw wattles shall be installed as soon as construction will allow or when designated by the Engineer. Straw wattles shall be placed in shallow trenches and staked along the contour of disturbed or newly constructed slopes, in accordance with the Plans, perpendicular to the flow direction and parallel to the slope contour.

The wattles shall be installed at the intervals designated by the Engineer.

Trench construction and wattle installation shall begin from the base of the slope and work uphill. Excavated material shall be spread evenly along the uphill slope and compacted using hand tamping or other method approved by the Engineer. On gradually sloped or clay-type soils trenches shall be 2 to 3 inches deep. On loose soils, in high rainfall areas, or on steep slopes, trenches shall be 3 to 5 inches deep, or half the thickness of the wattle.

The wattle shall be install snugly into the trench, abutting adjacent wattles tightly, end to end, without overlapping the ends. Wattles shall be staked at each end and at 4 foot centers along their entire length. When trench conditions require, plot holes for the stakes shall be driven through the wattle and into the soil using a straight bar. Stakes shall be driven through the middle of the wattle, leaving 2 to 3 inches of the stake protruding above the wattle.

Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing rainfall.



**NOTES:**

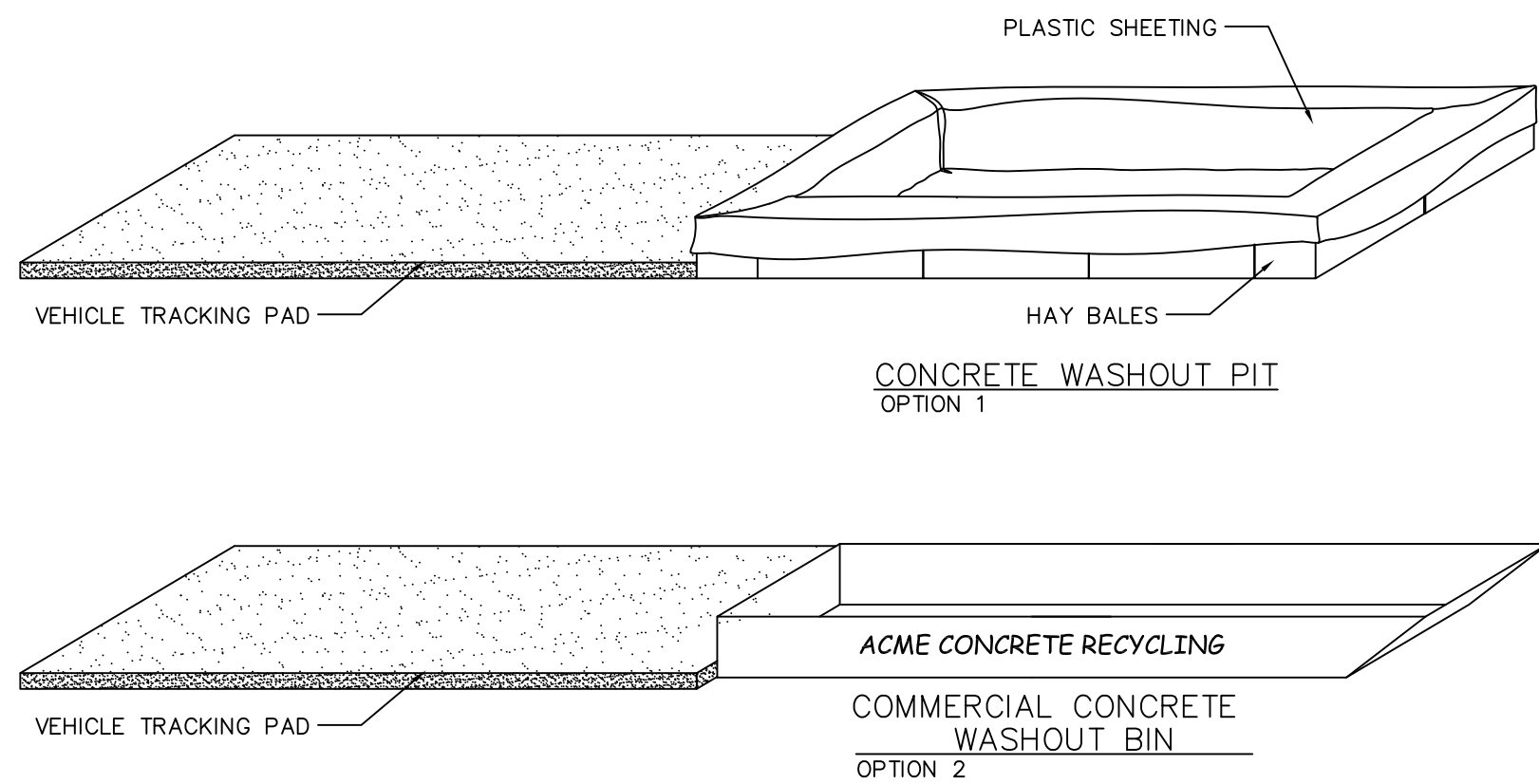
1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%.

2-COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THEN 3 MONTHS)

3-PLACE COURSE AGGREGATE, 1 TO 2-3 INCHES SIZE TO A MINIMUM DEPTH OF 8 INCHES.

4-DAILY INSPECTIONS ARE REQUIRED FOR LOSS OF GRAVEL OR SEDIMENT. SWEEPING OF ASPHALT ROADWAY MAY BE REQUIRED TO ELIMINATE GRAVEL FROM TRACKED TO SURFACE.

**VEHICLE TRACKING DETAIL**  
NOT TO SCALE



**BMP:**

1-AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE.

2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA.

3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS

4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET.

5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

**USE OF CONCRETE WASHOUT:**

1-IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA.

2-WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP AND DISPOSED OF PROPERLY.

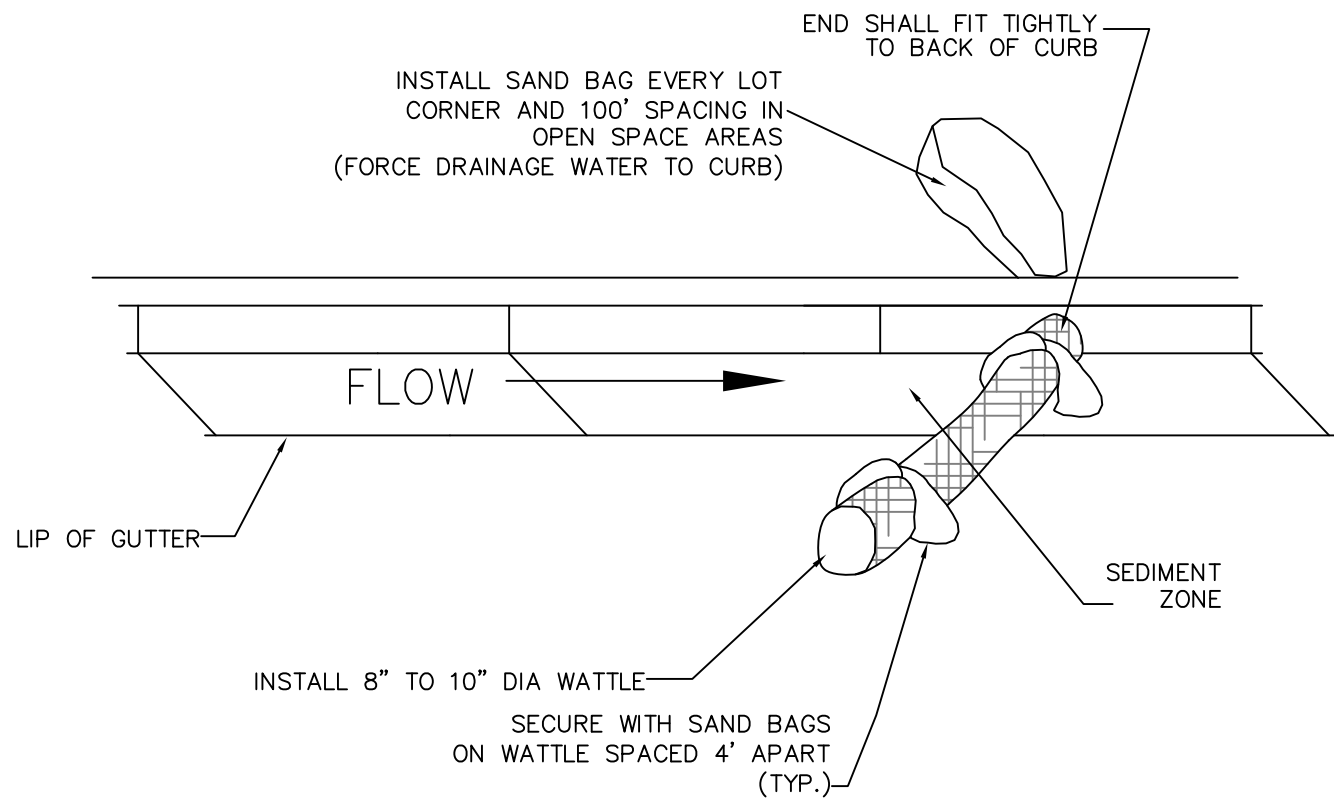
3-NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN AT THE

END OF EACH WORK DAY.

4-INSTALL PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS.

5-INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS. MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON STREETS.

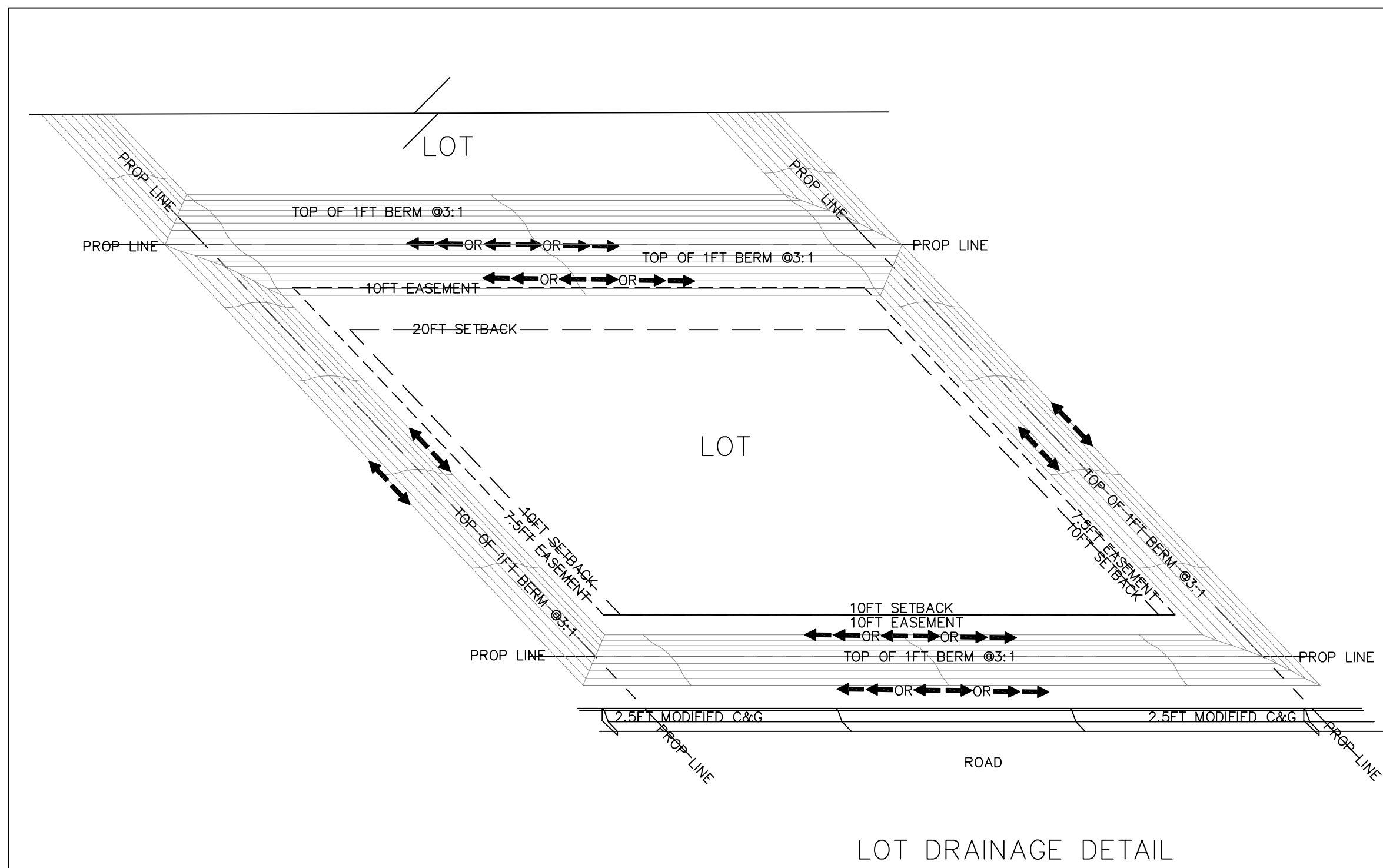
**CONCRETE WASHOUT AREA**  
NOT TO SCALE



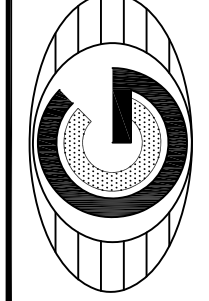
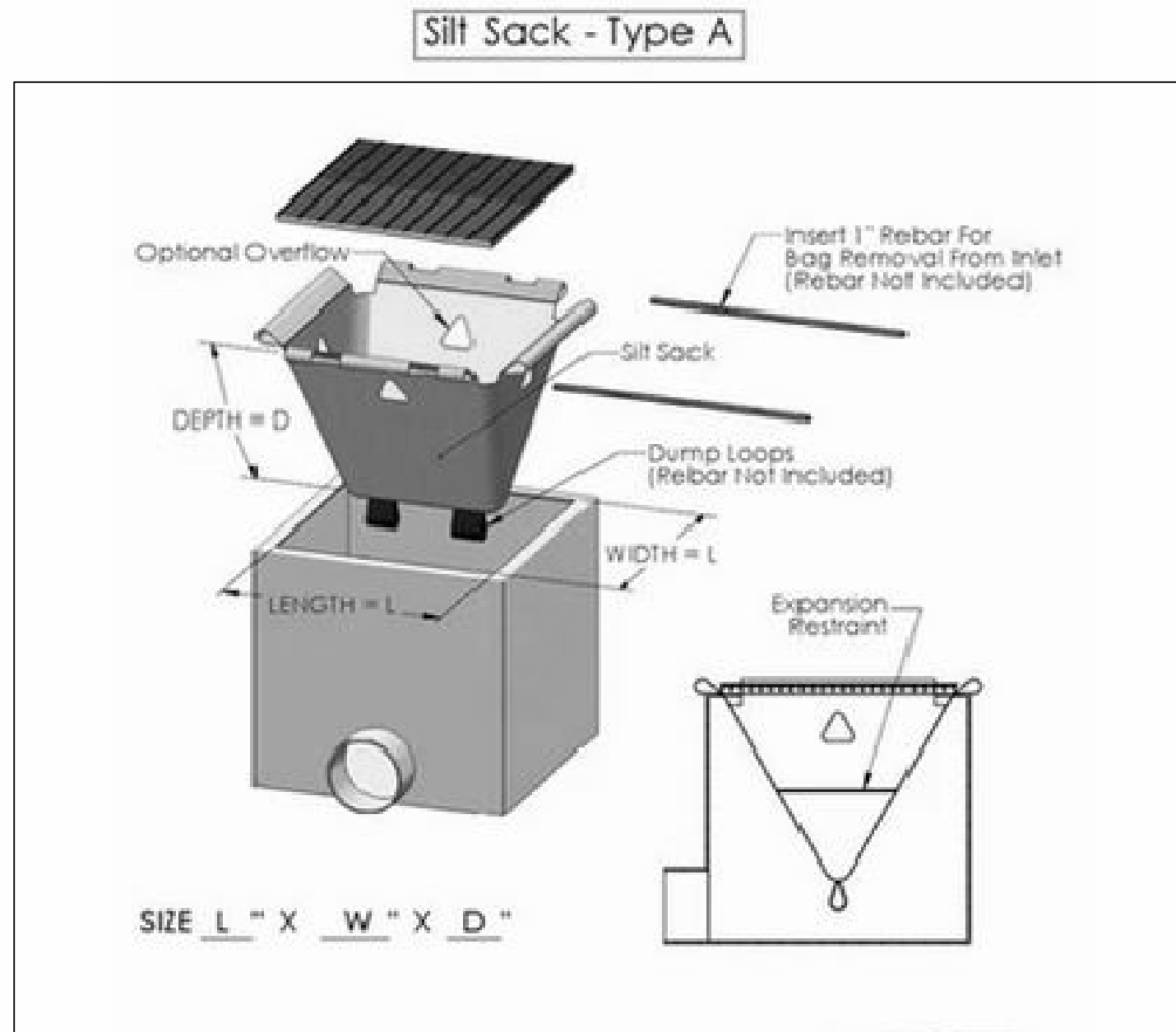
**NOTE:**

INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

**GUTTER PROTECTION SETUP**



Home > Inlet Protection > Siltsack - Type A



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P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7050  
paul@gatewayconsultingllc.com

CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT

LAKEVIEW ESTATES

EROSION CONTROL  
DETAILS and NOTES

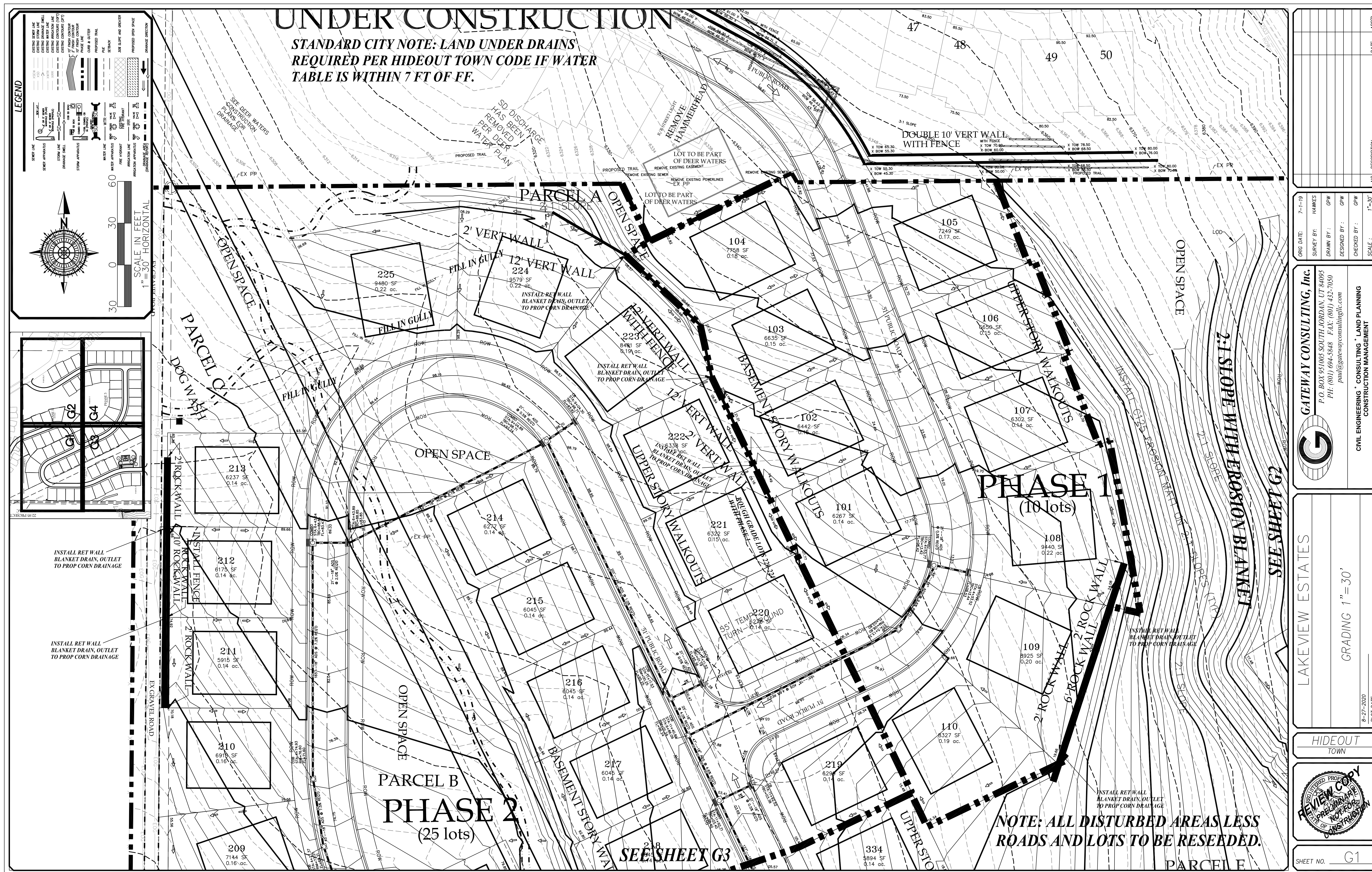
8-27-2020

HIDEOUT  
TOWN

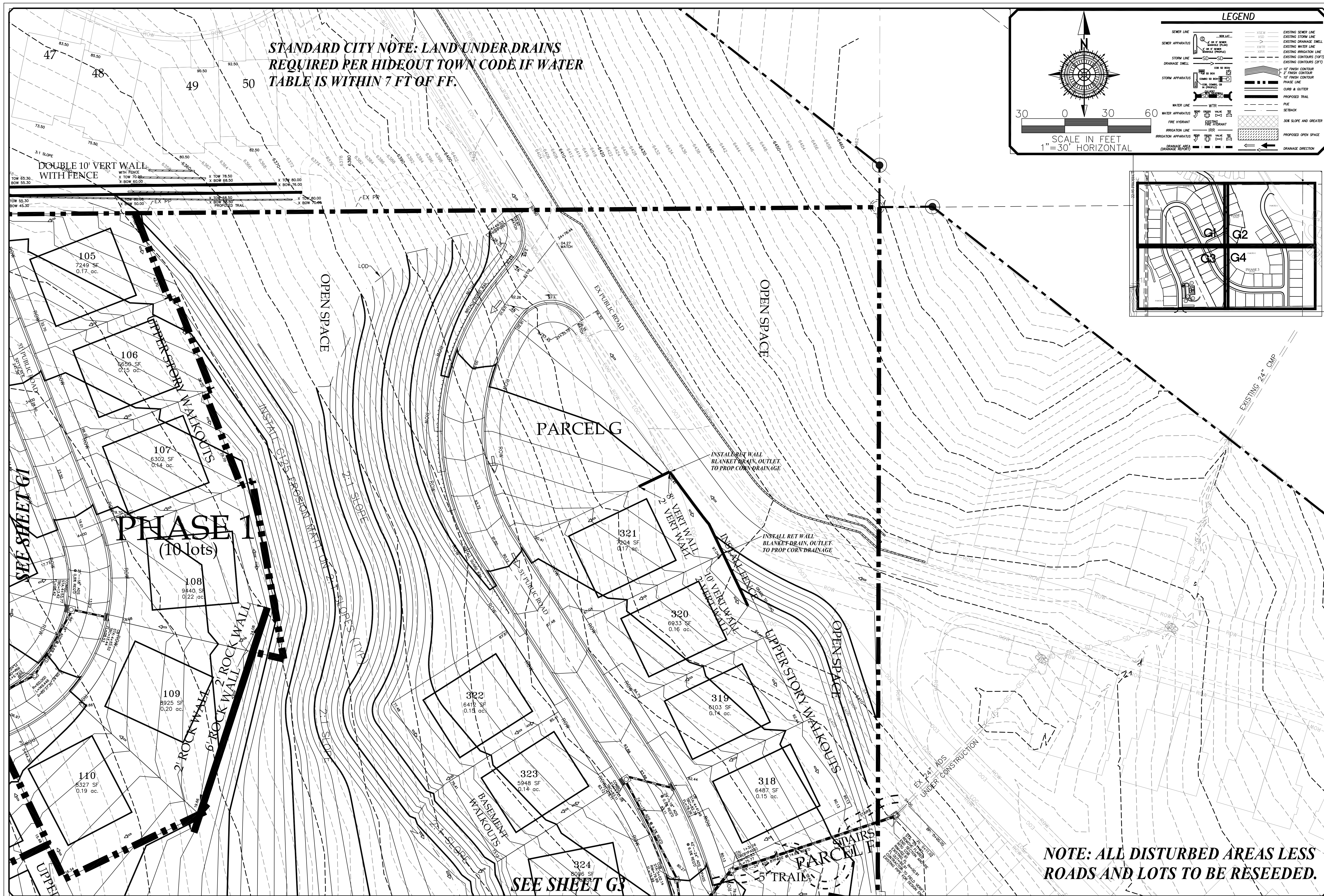


SHEET NO. **ER-2**








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ORIG DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=30'



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P.O. BOX 951005 SOUTH JORDAN, UT 84095  
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[psaid@gatewayconsultingllc.com](mailto:psaid@gatewayconsultingllc.com)

**CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT**

LAKEVIEW ESTATES

GRADING 1"=30'

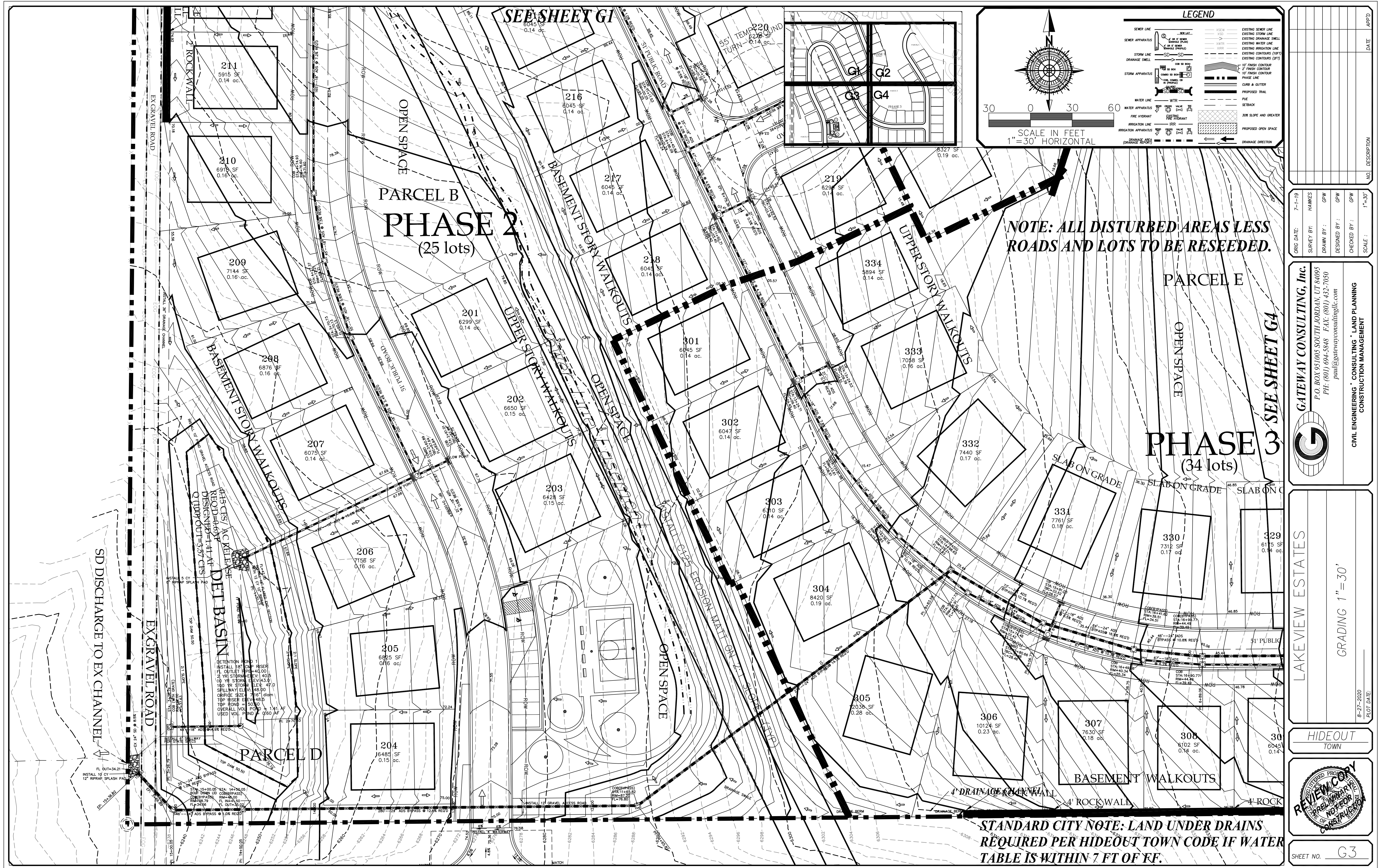
8-27-2020  
PLOT DATE:

HIDEOUT  
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SHEET NO. G2





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P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7050  
paul@gatewayconsultingllc.com

**CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING**  
CONSTRUCTION MANAGEMENT

**LAKEVIEW ESTATES**

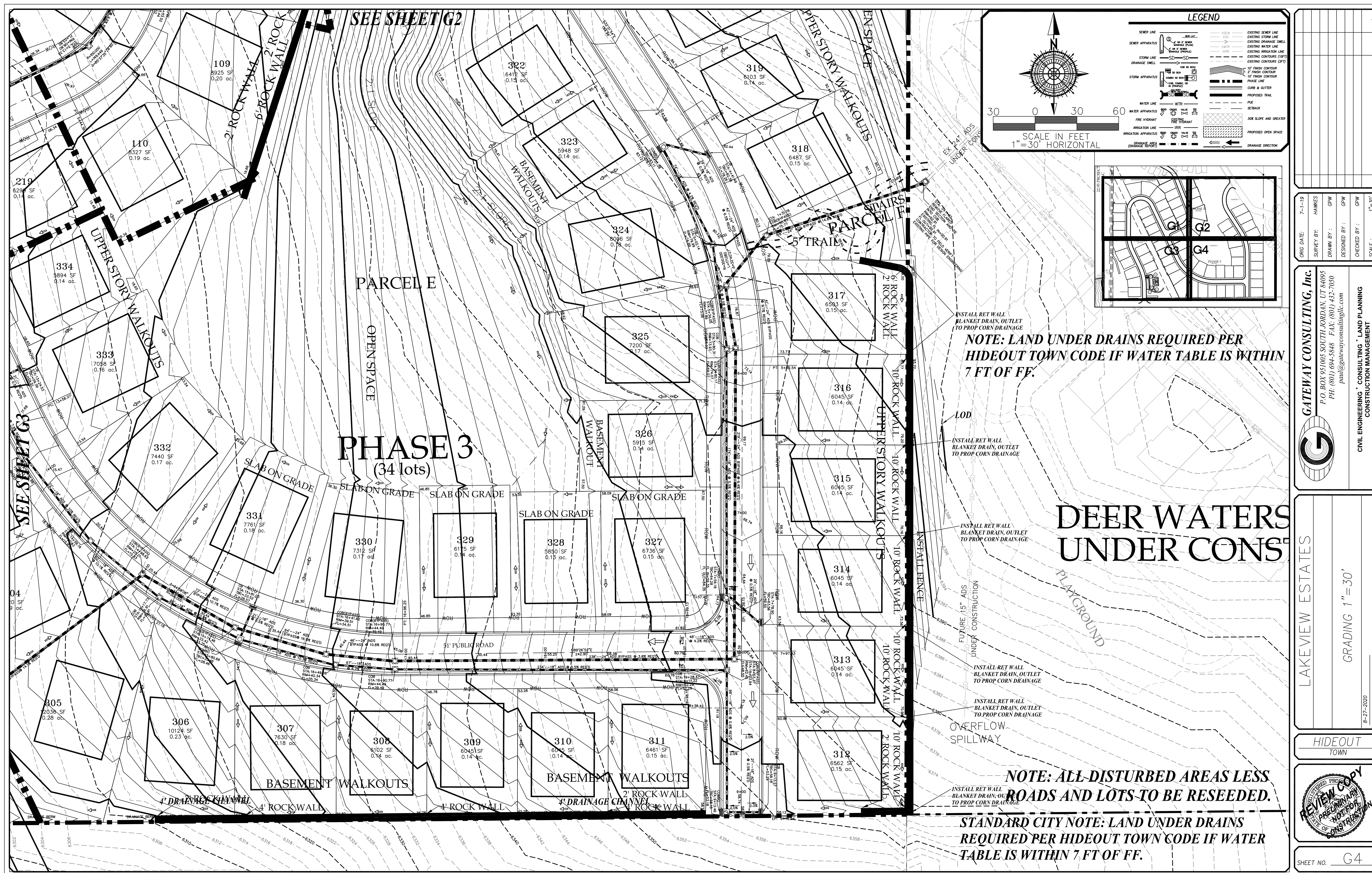
**HIDEOUT TOWN**

**REVIEW COPY**

**STANDARD CITY NOTE: LAND UNDER DRAINS REQUIRED PER HIDEOUT TOWN CODE IF WATER TABLE IS WITHIN 7 FT OF RF.**

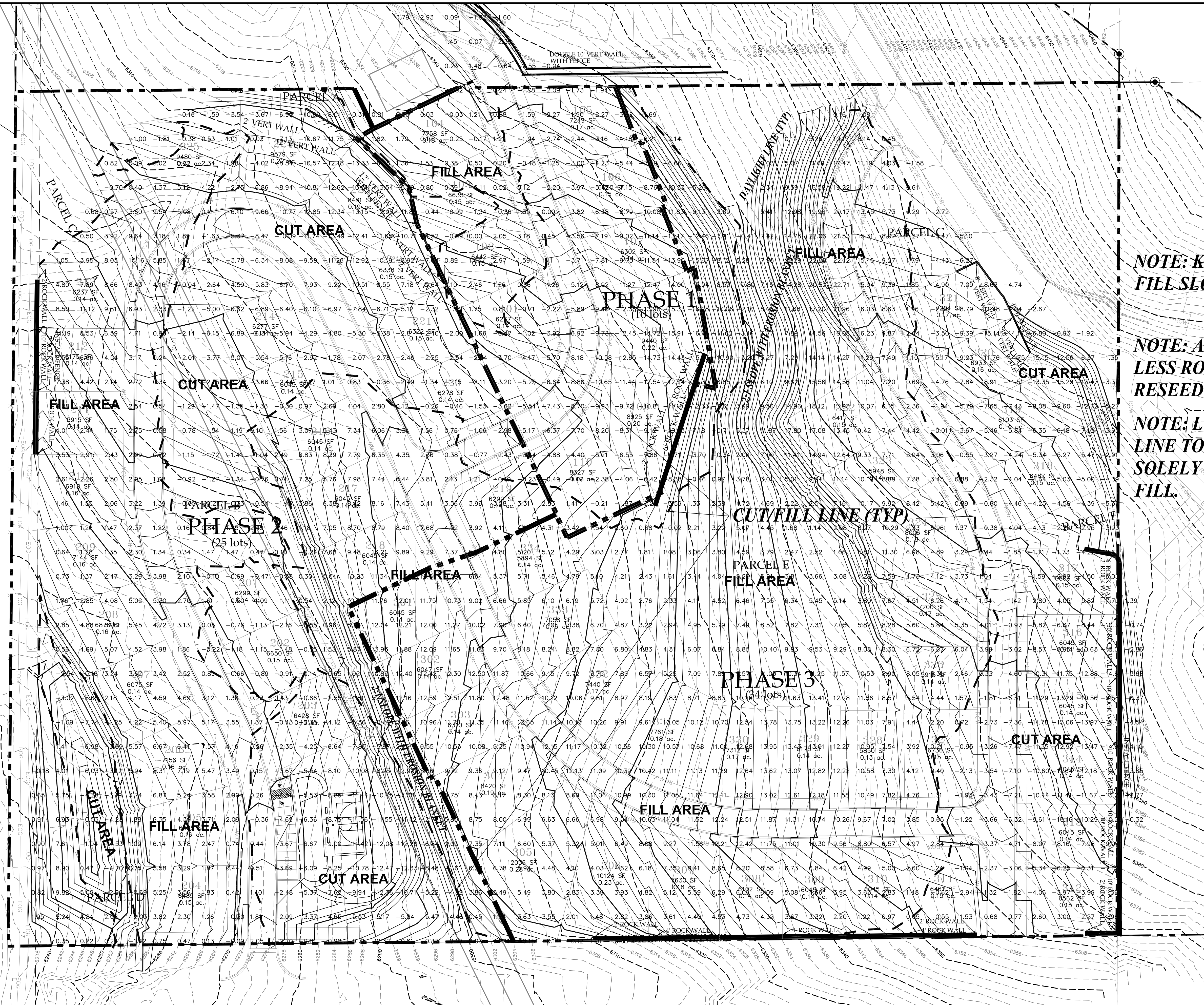
**SHEET NO. G3**







22.95 PROJECT  
TOTAL AC



**NOTE: KEY IN AND BENCH ALL  
FILL SLOPE AREAS**

**NOTE: ALL DISTURBED AREAS  
LESS ROADS AND LOTS TO BE  
RESEED.**

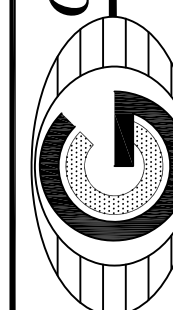
**NOTE: LOTS ON A CUT/FILL LINE TO BE EXCAVATED TO BE SOLELY ON CUT OR SOLELY ON FILL.**

[illegible]

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LAKEVIEW ESTATES

OVERALL CUT/FILL  
MASS GRADING SHEET

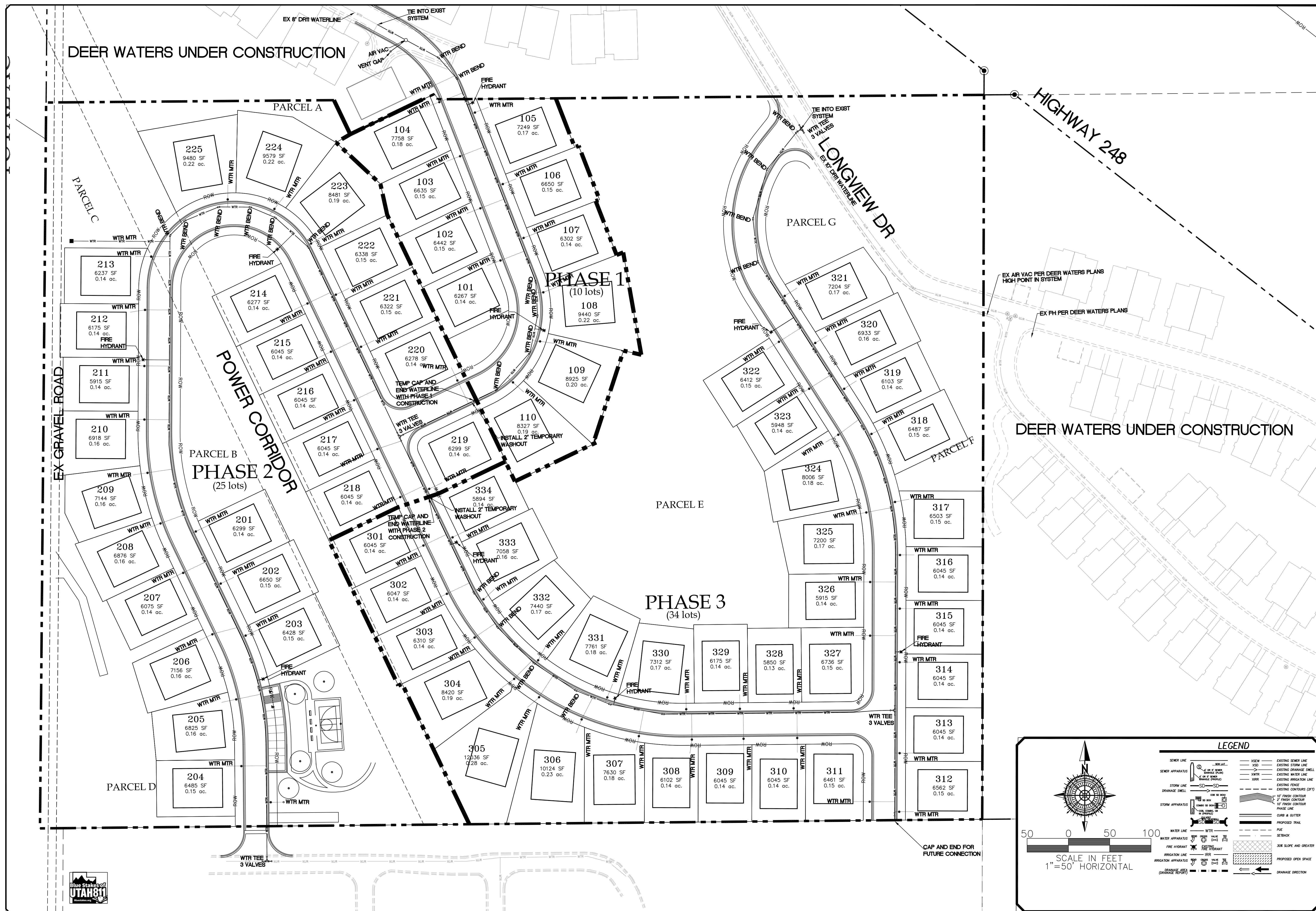
8-27-2020

HIDEOUT  
TOWN

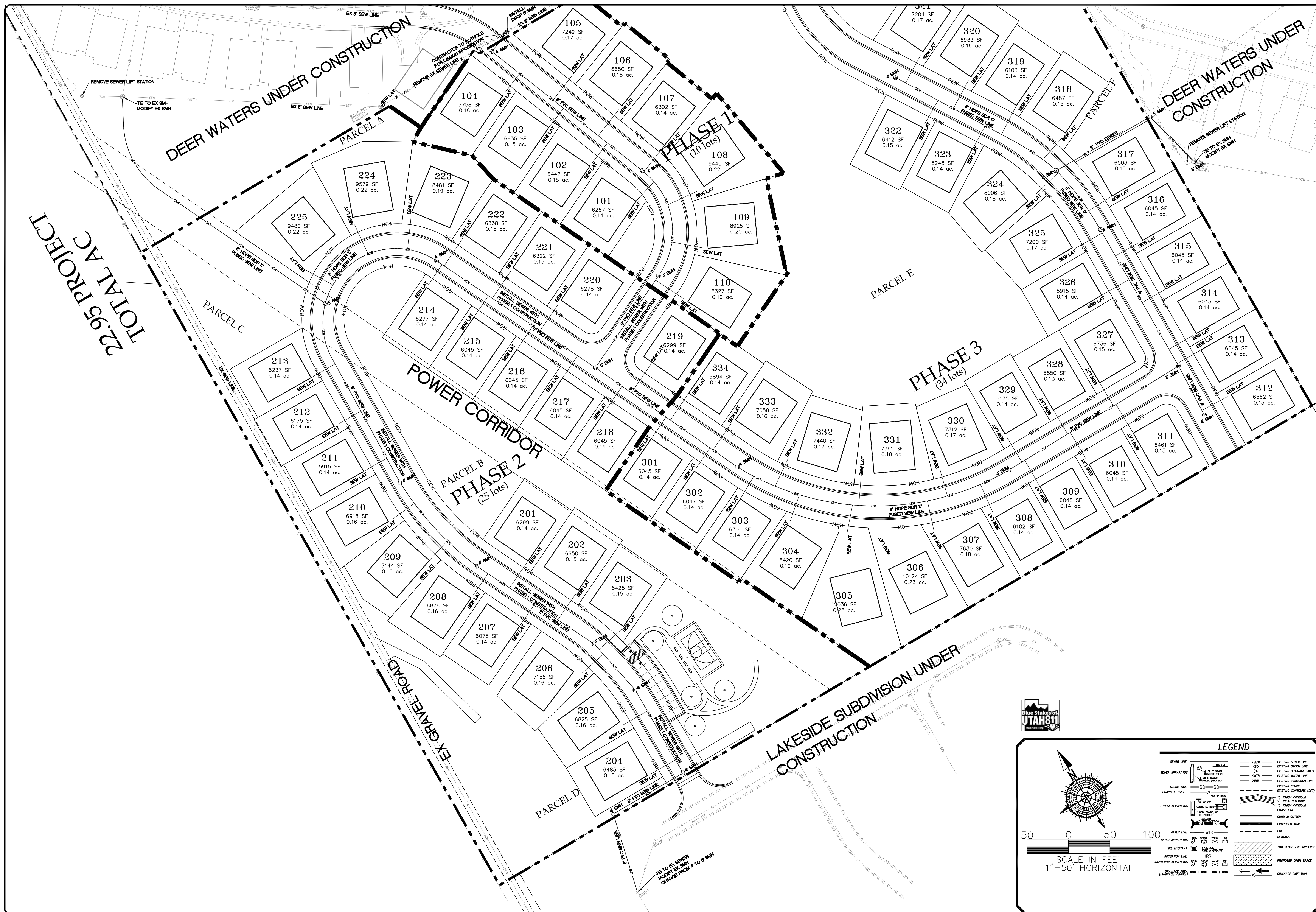


SHEET NO. G5








[illegible]

ORIG. DATE:	7-1-19
SURVEY BY:	
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	1"=50'



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paud@gatewayconsultingllc.com

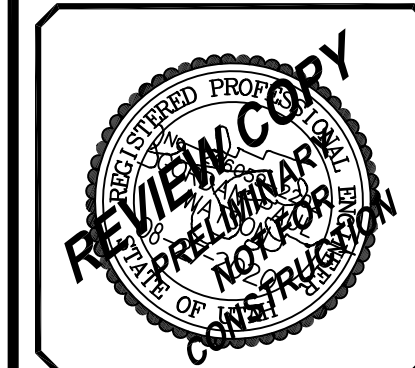
**CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT**

IROQUOIS PH 5 LOT 7

OVERALL SEWER UTILITY SHEET

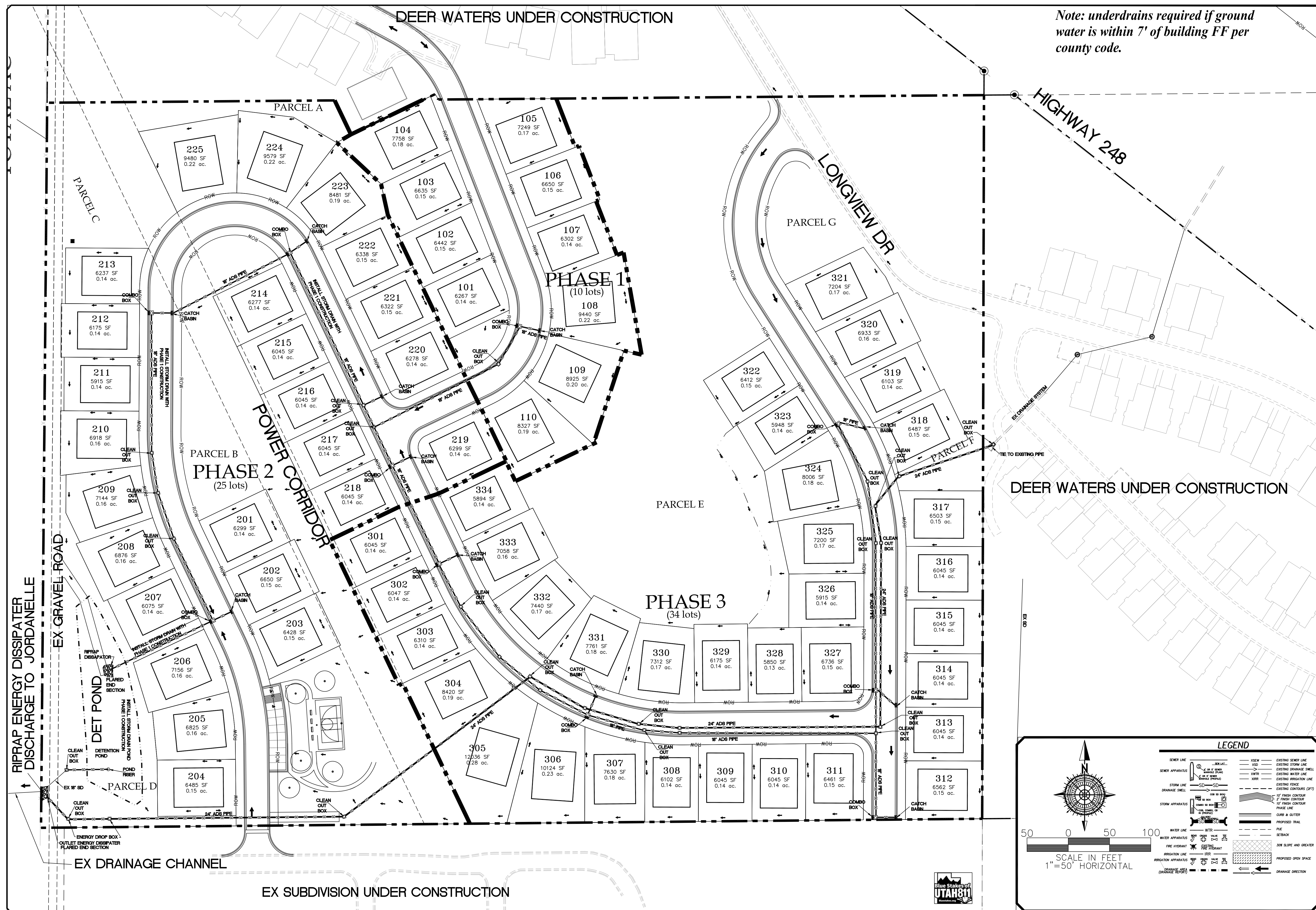
UVALLE  
PRINT DATE: 8-27-2020

HIDEOUT



SHEET NO. U2



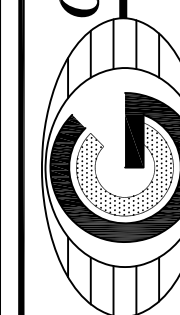
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ORIG. DATE:	7-1-19
SURVEY BY:	
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	1"=50'

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**GENERAL CONSULTING, INC.**  
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CONSTRUCTION MANAGEMENT**

# LAKEVIEW ESTATES

OVERALL STORM SEWER UTILITY SHEET

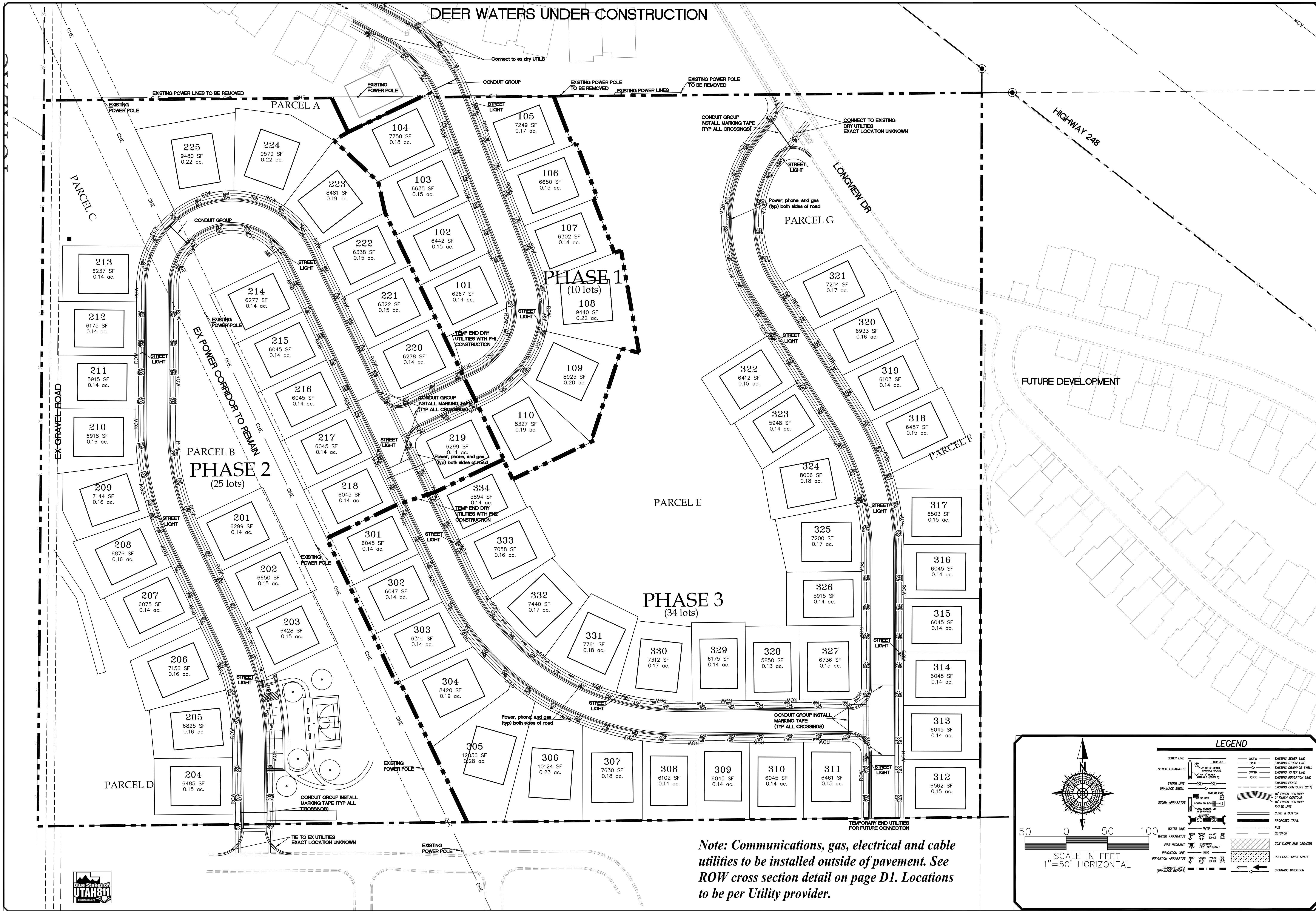
PRINT DATE: 8-27-2020

HIDEOUT  
TOWN




SHEET NO. U3





NO.	DESCRIPTION	DATE	APP'D
3-1-17	GPW		
4-24-17	GPW		

ORIG. DATE:	7-1-19
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=50'



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**LAKEVIEW ESTATES**

*DRY UTILITY PLAN*

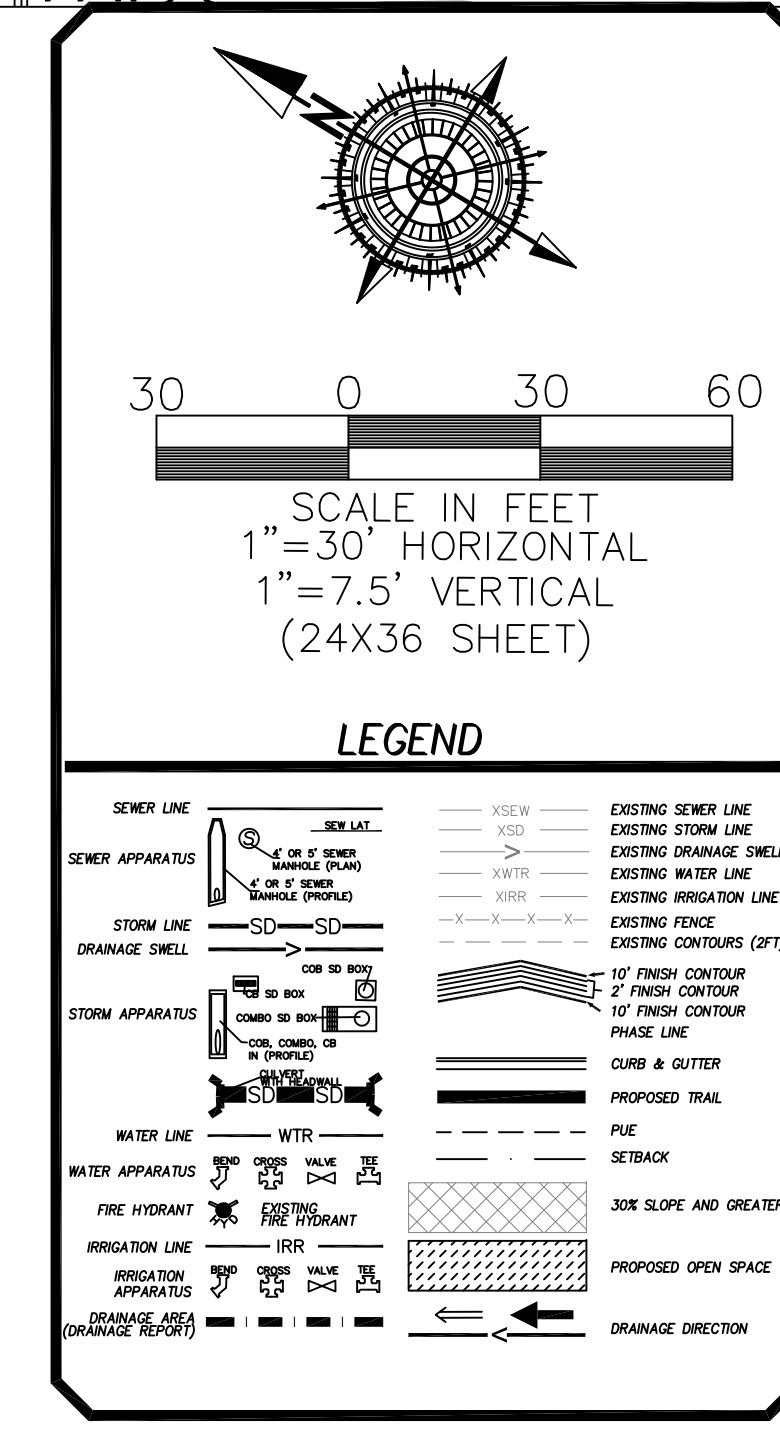
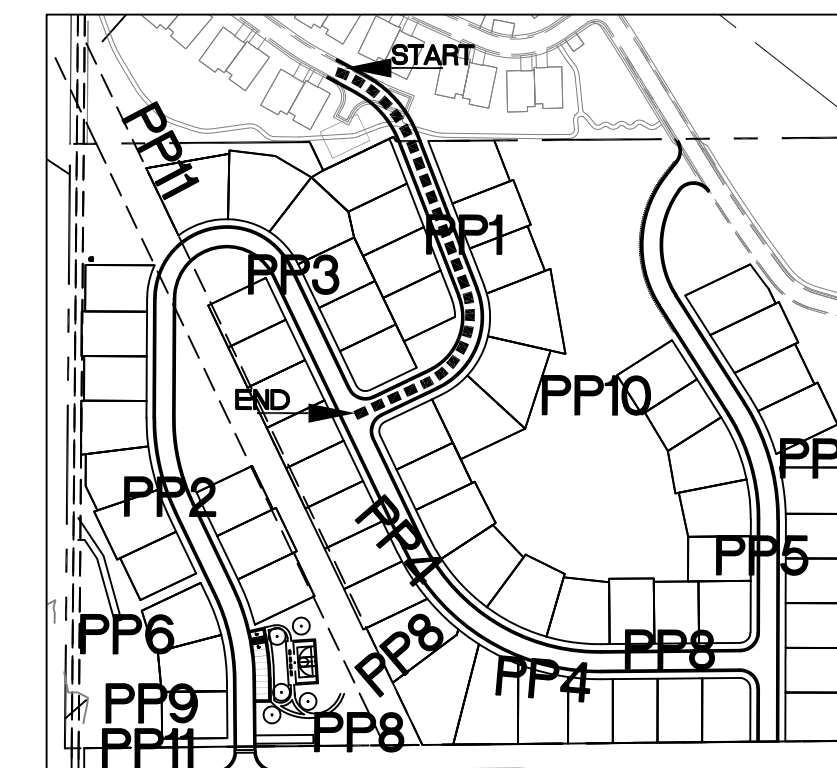
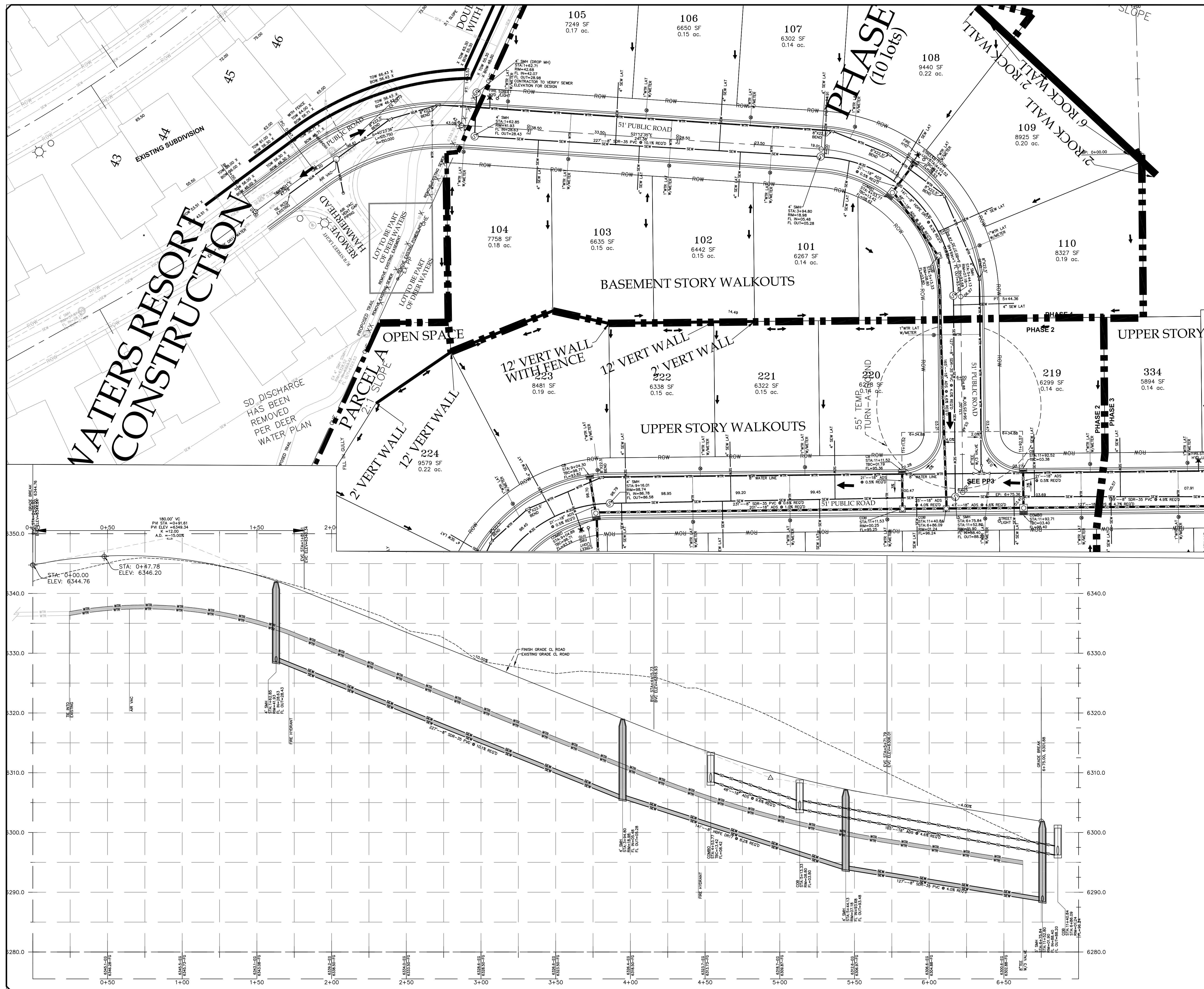
PRINT DATE: 8-27-2020

HIDEOUT TOWN




SHEET NO. **U4**



[illegible]

ORIG. DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=30'



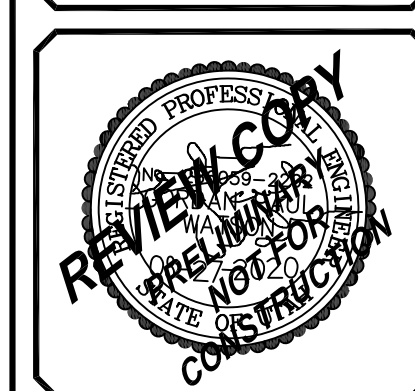
**GATEWAY CONSULTING, Inc.**  
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paul@gatewayconsultingllc.com

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CONSTRUCTION MANAGEMENT**

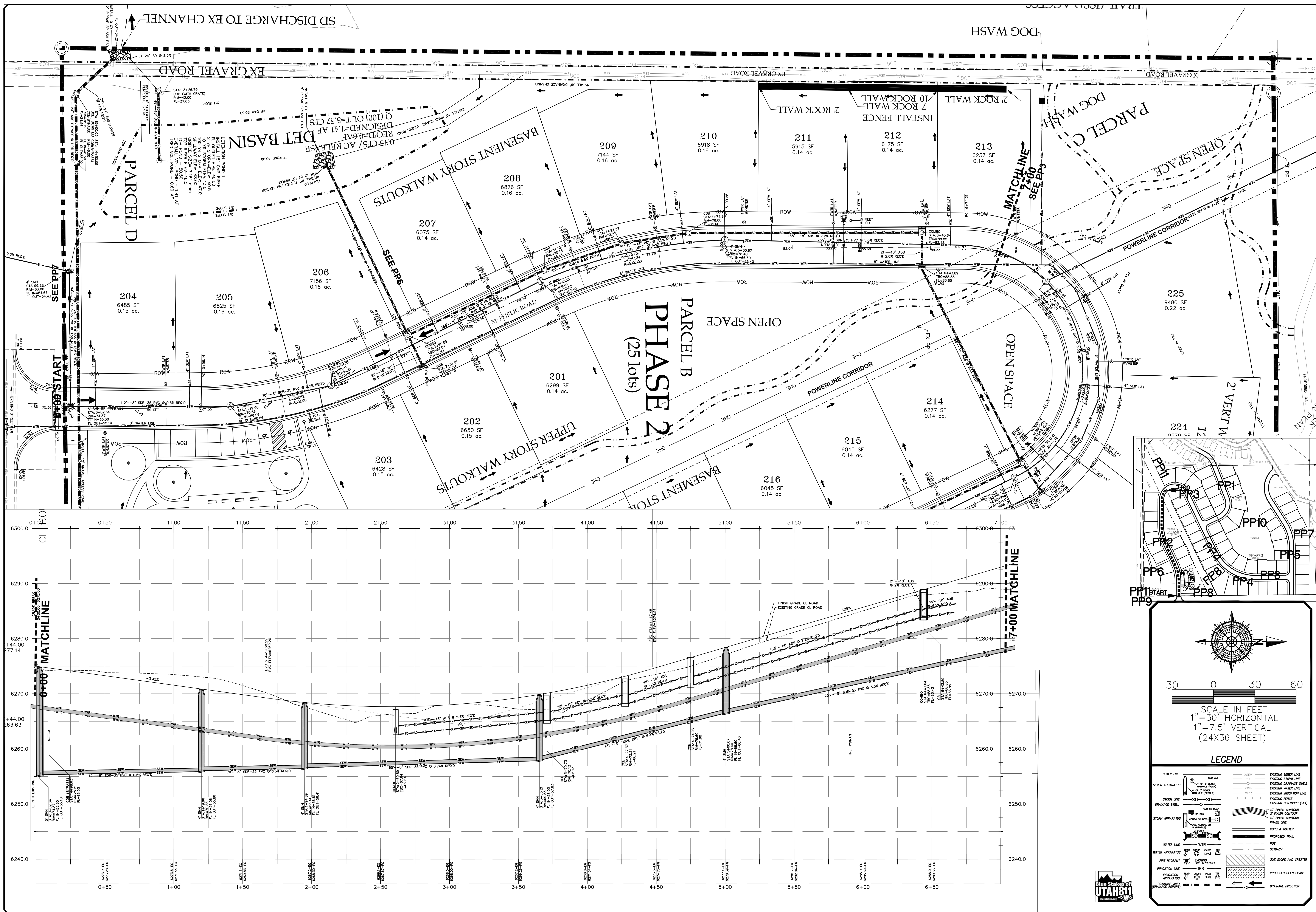
LAKEVIEW ESTATES  
PLAN and PROFILE  
ROAD 3-3  
PRINT DATE: 8-27-2020

HIDEOUT  
TOWN




SHEET NO. PP1



[illegible]

ORIG. DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	1"= 30'

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*paud@gatewayconsultingllc.com*

---

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CONSTRUCTION MANAGEMENT**

LAKEVIEW ESTATES

PLAN and PROFILE

ROAD 3-2

STA: 0+00 to 7+00

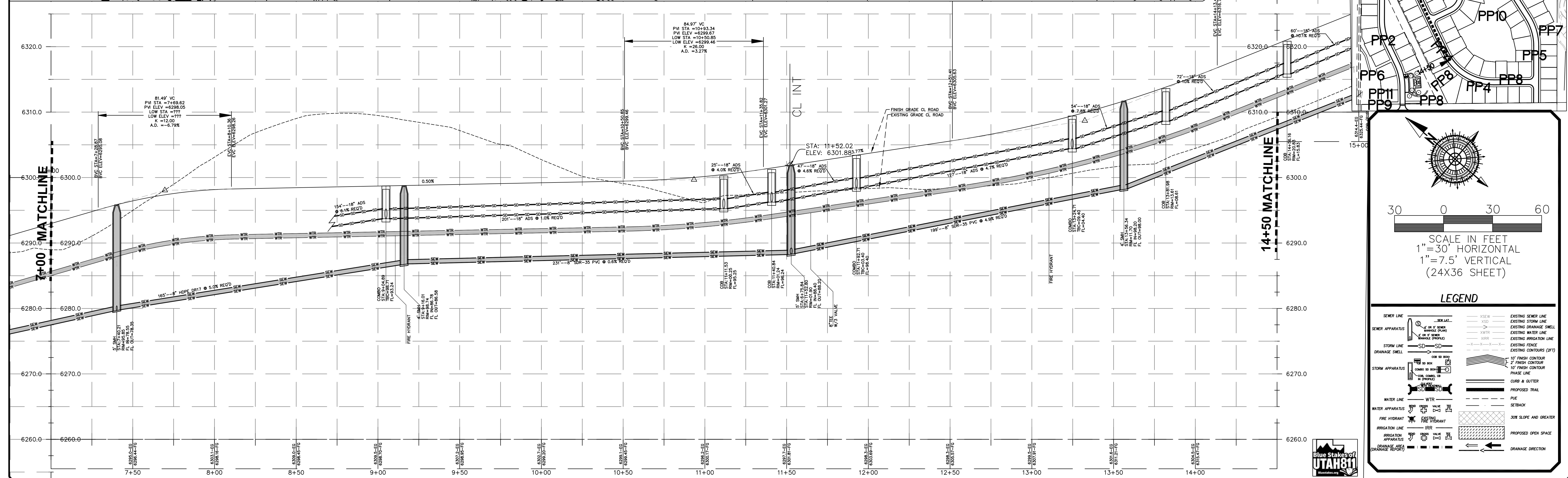
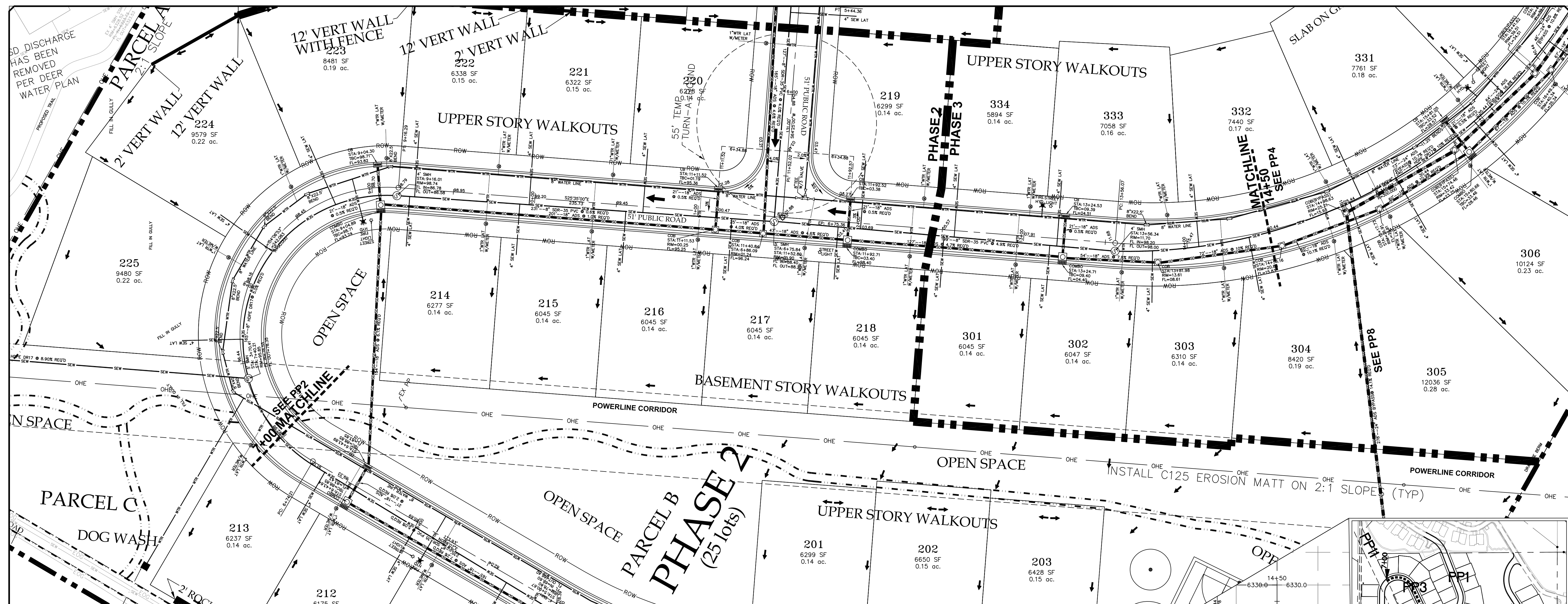
PRINT DATE: 8-27-2020

HIDEOUT  
TOWN



SHEET NO. PP2





NO.	DESCRIPTION	DATE	APP'D.
3-1-17	GPW		

ORIG. DATE:	7-1-19
SURVEY BY:	HAWES
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=30'

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paul@gatewayconsultinginc.com

**CIVIL ENGINEERING CONSULTING LAND PLANNING**  
CONSTRUCTION MANAGEMENT

**LAKEVIEW ESTATES**

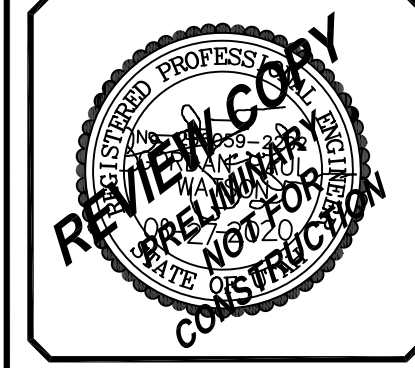
**PLAN and PROFILE**

**ROAD 3-2**

**STA: 7+00 to 14+50**

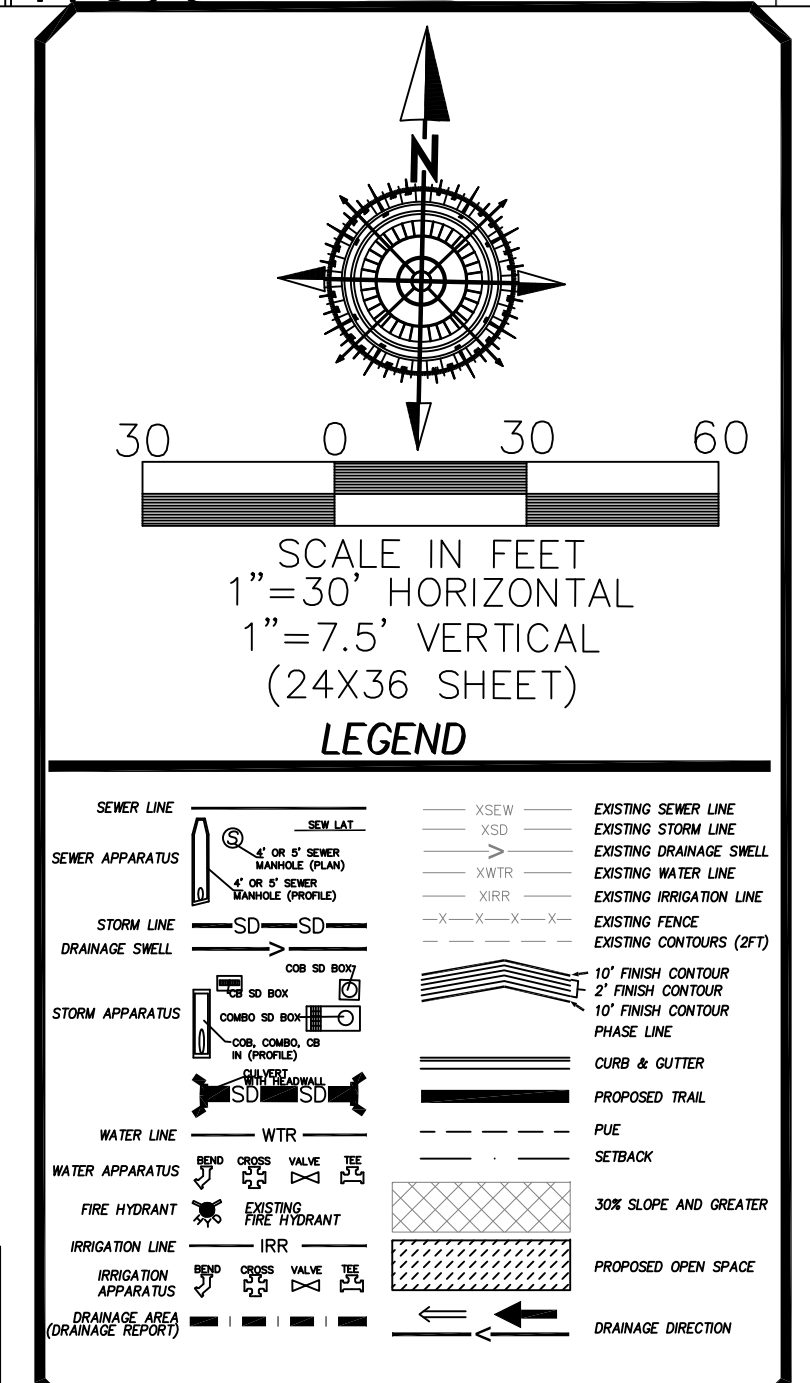
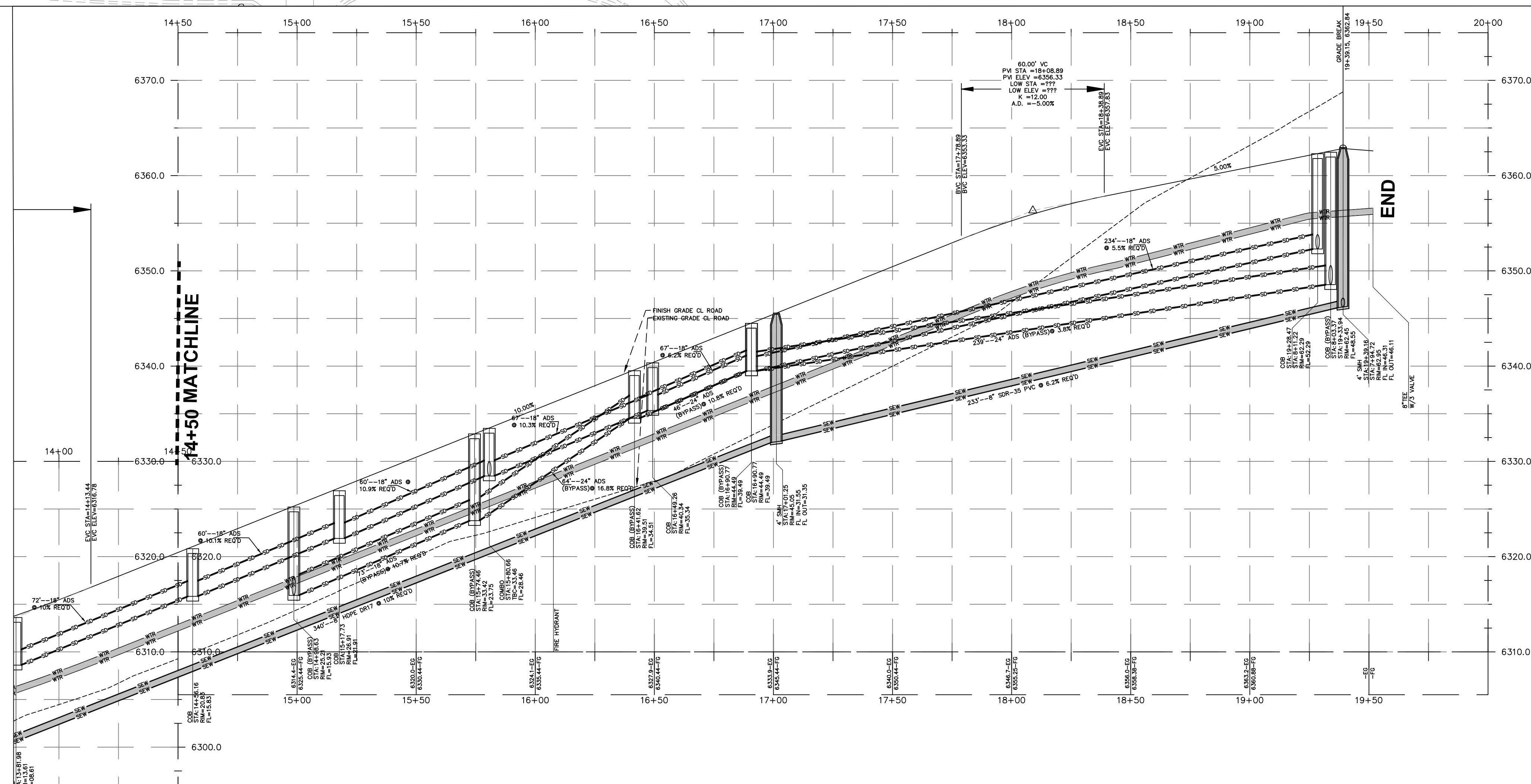
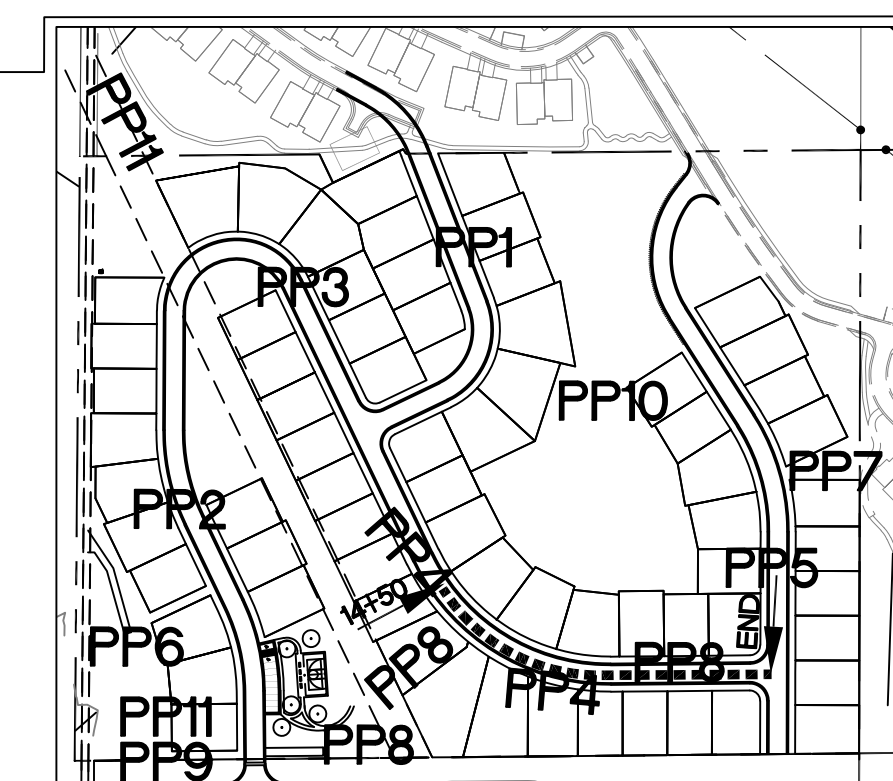
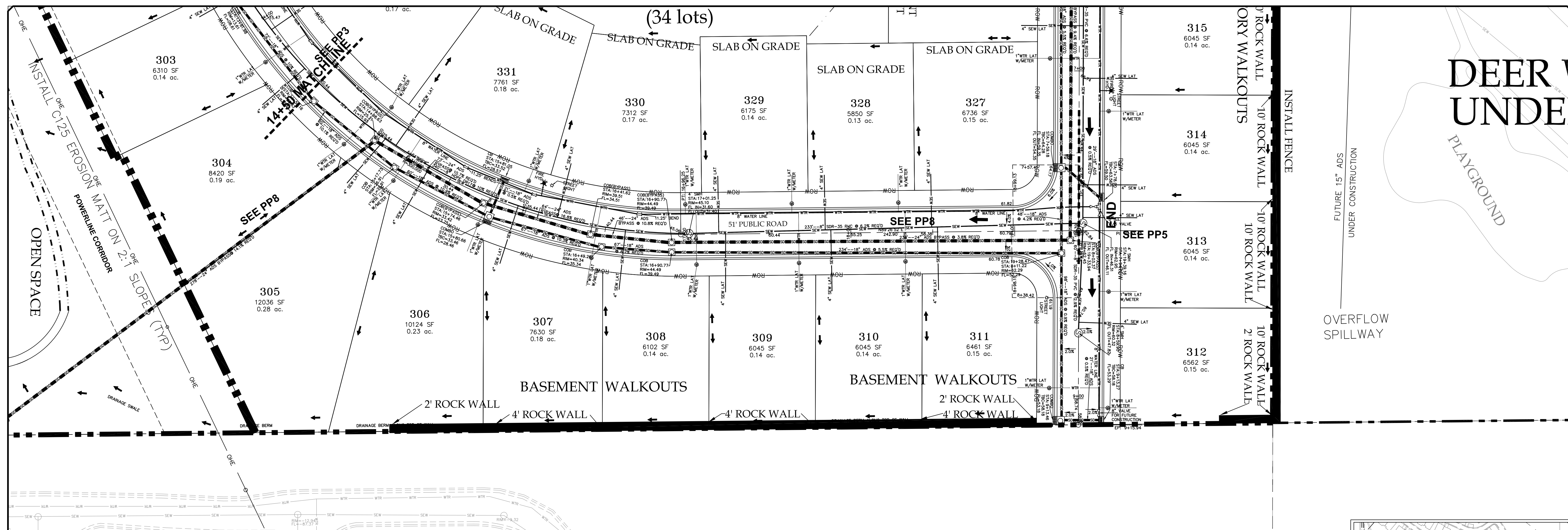
**PRINT DATE: 8-27-2020**

HIDEOUT TOWN



SHEET NO. PP3



[illegible]

ORIG. DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=30'

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**CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
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LAKEVIEW ESTATES

---

PLAN and PROFILE

ROAD 3-2

STA: 14+00 to END

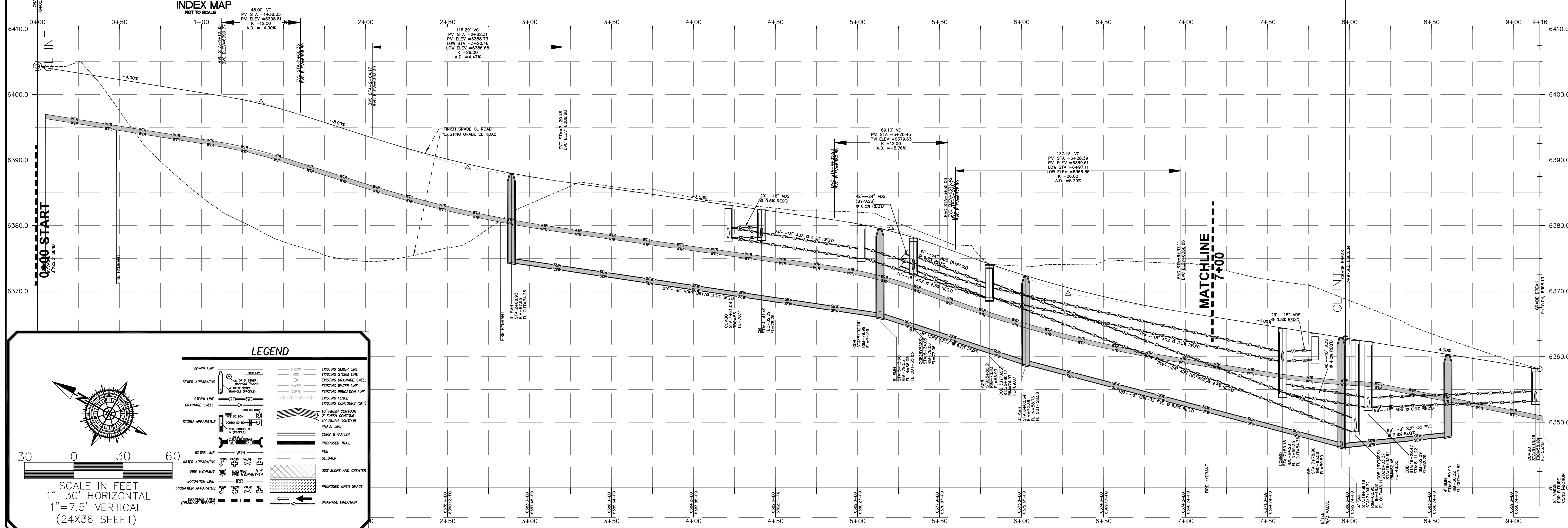
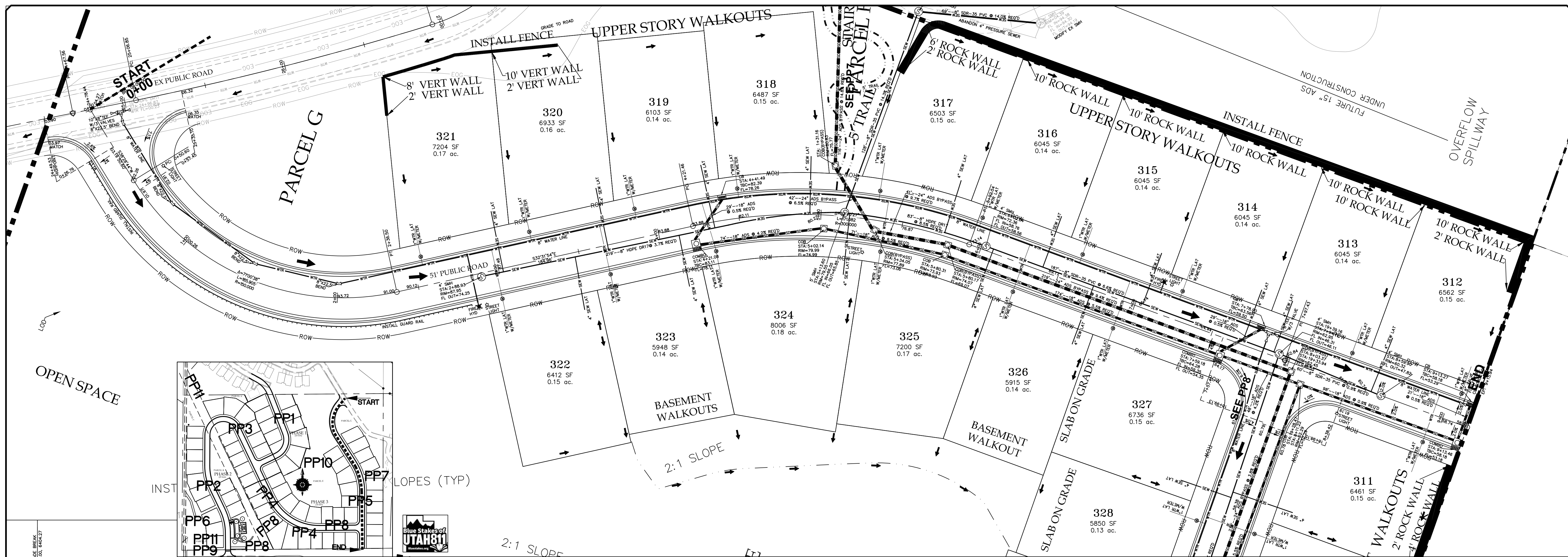
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PRINT DATE: 8-27-2020

HIDEOUT  
TOWN


DD4



[illegible]

ORIG. DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=30'

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P.O. BOX 951065 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7150  
[patrick@gatewayconsultingllc.com](mailto:patrick@gatewayconsultingllc.com)

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CONSTRUCTION MANAGEMENT

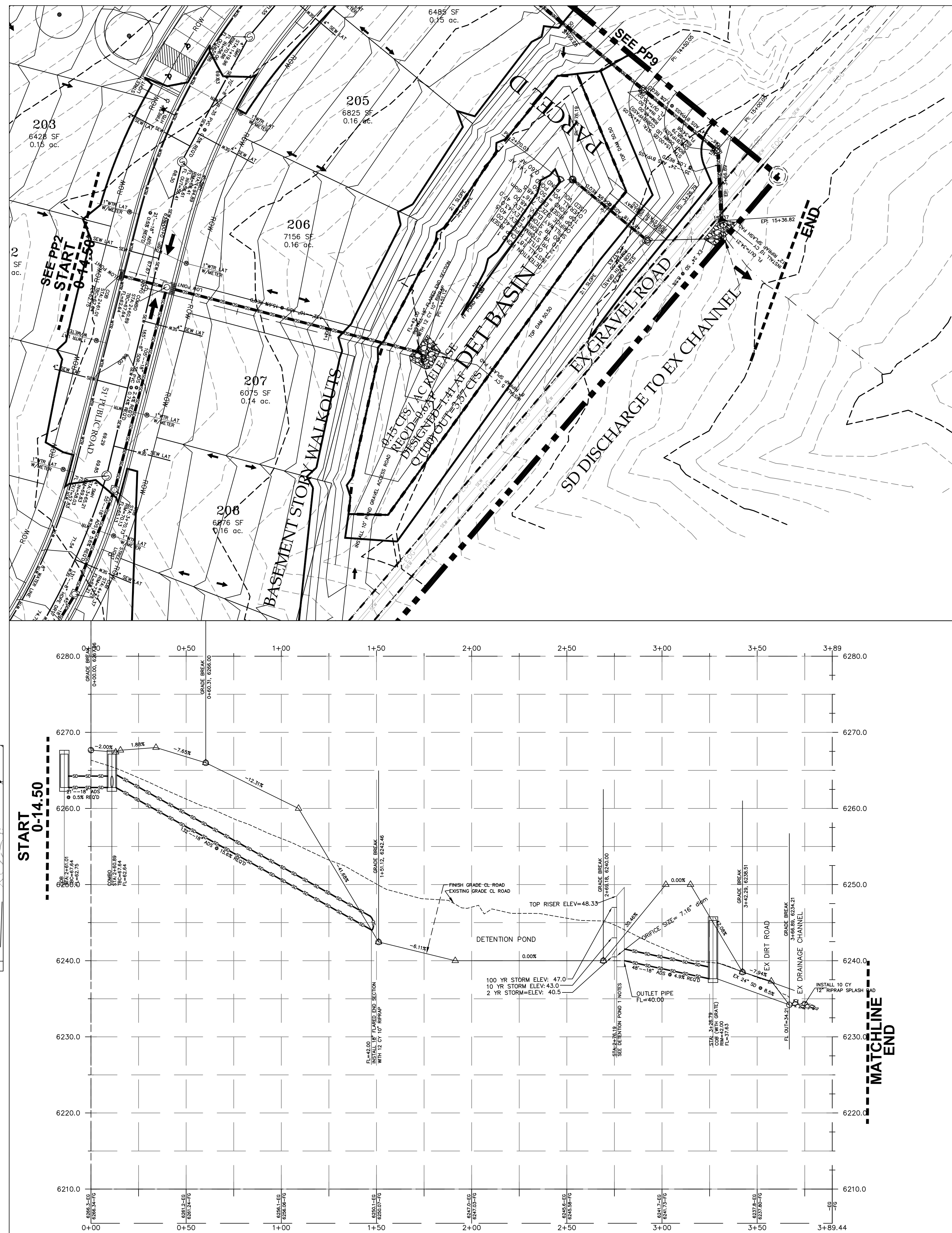
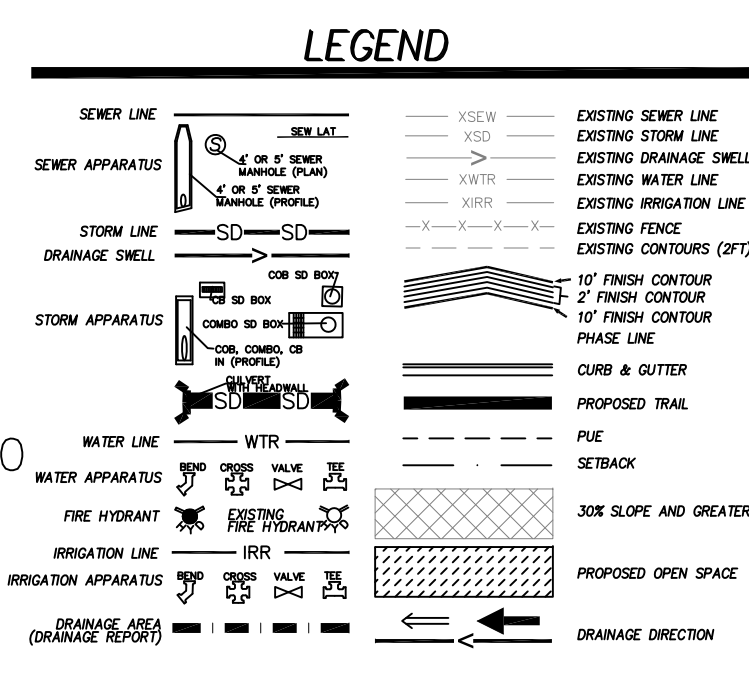
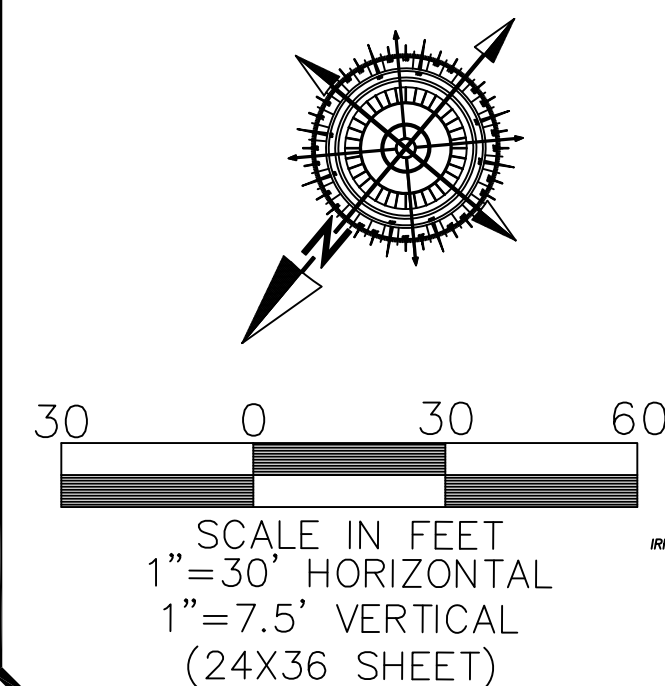
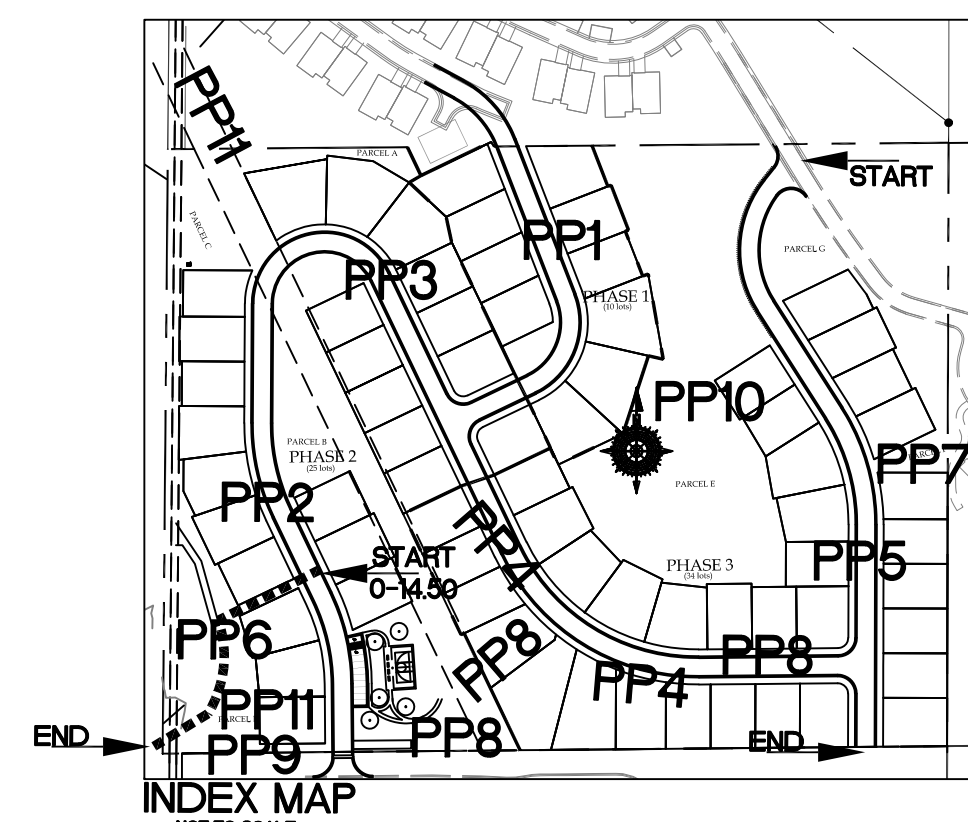
LAKEVIEW ESTATES  
PLAN and PROFILE  
ROAD 3-1  
PRINT DATE: 8-27-2020

HIDEOUT  
TOWN




SHEET NO. PP5



[illegible]

ORIG. DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=30'



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# LAKEVIEW ESTATES

## PLAN and PROFILE

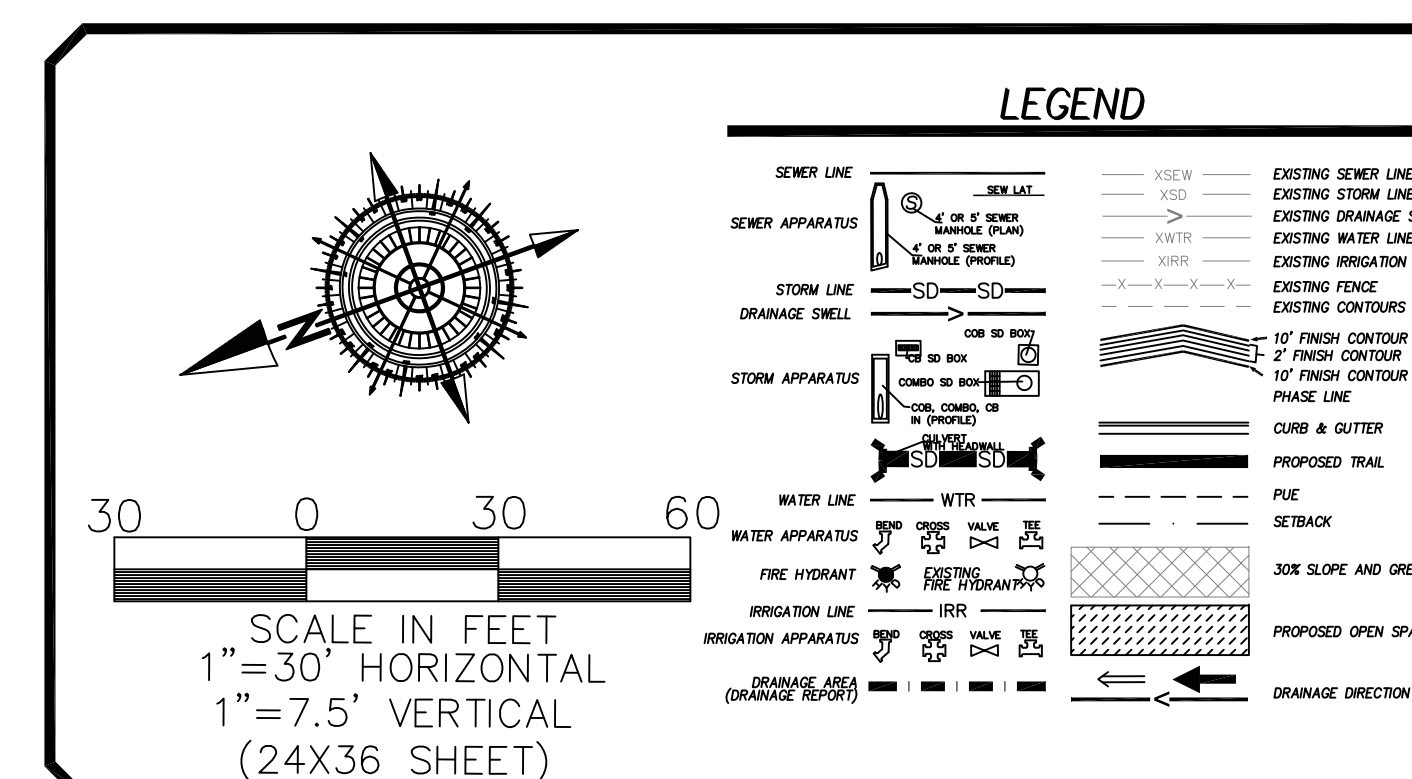
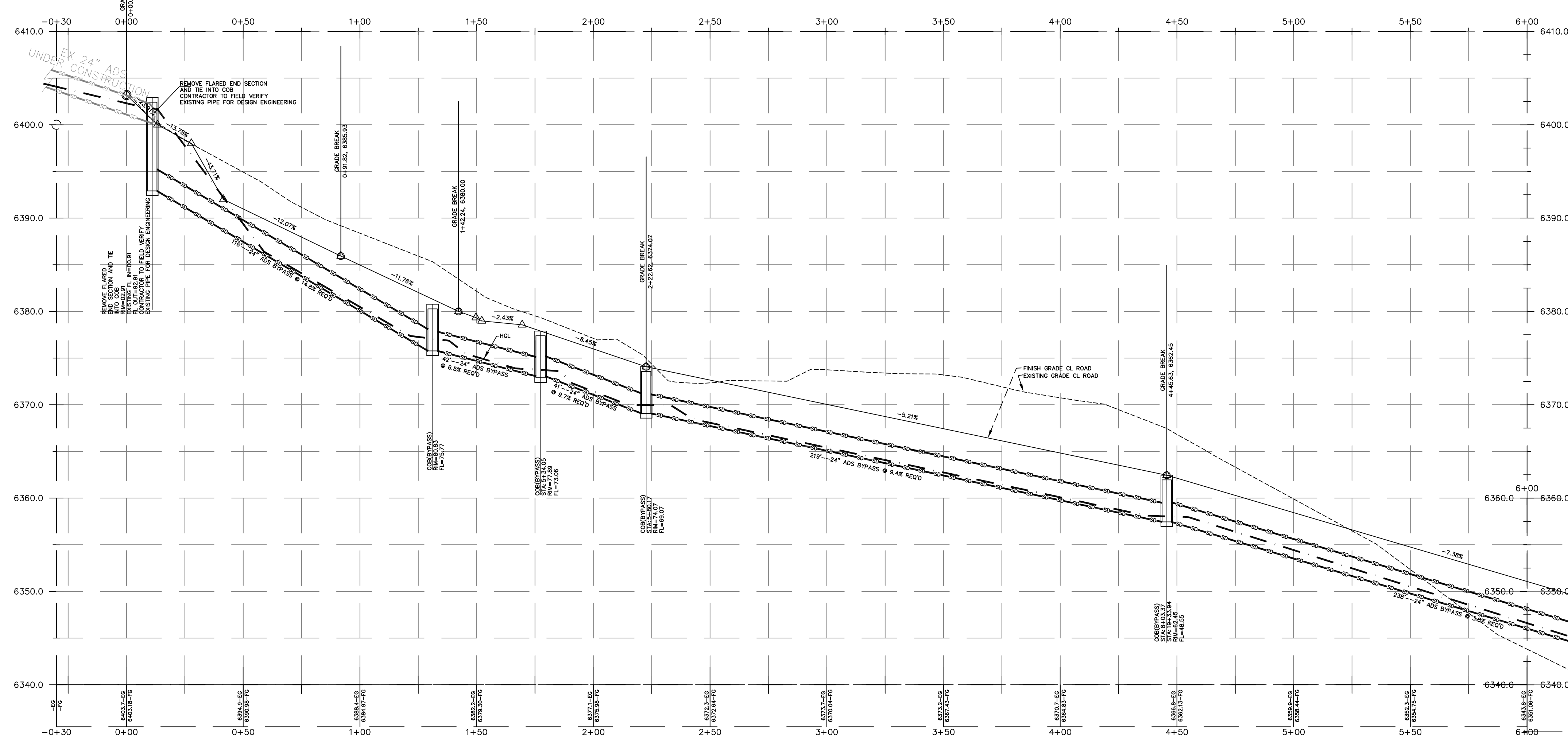
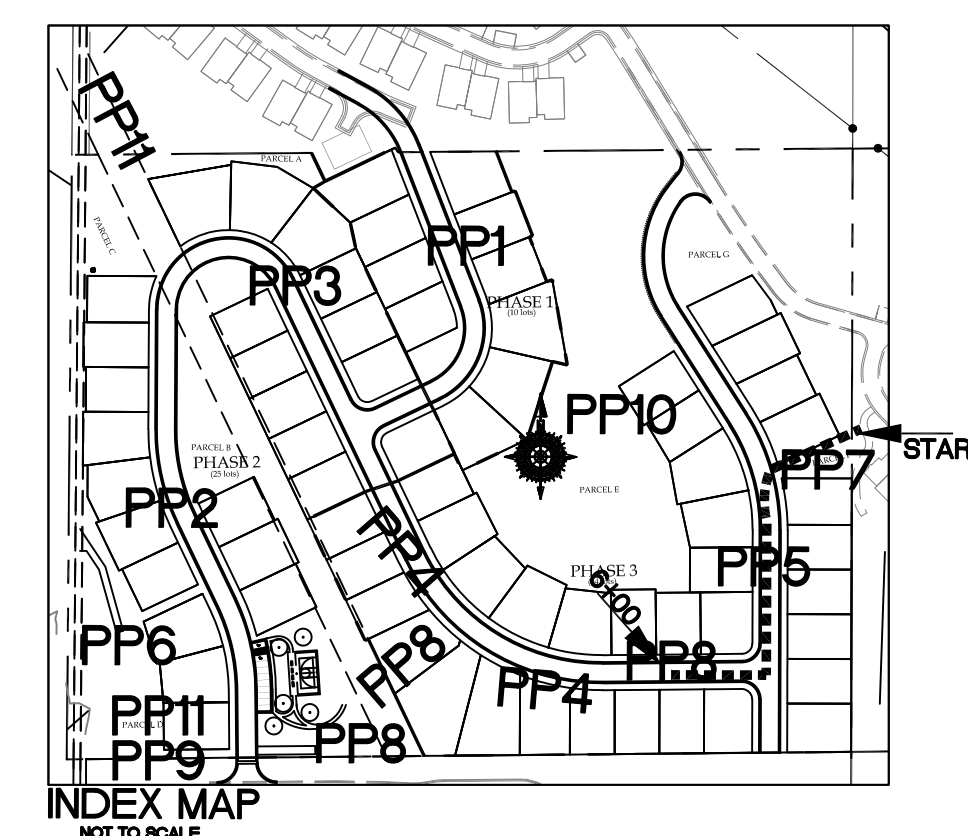
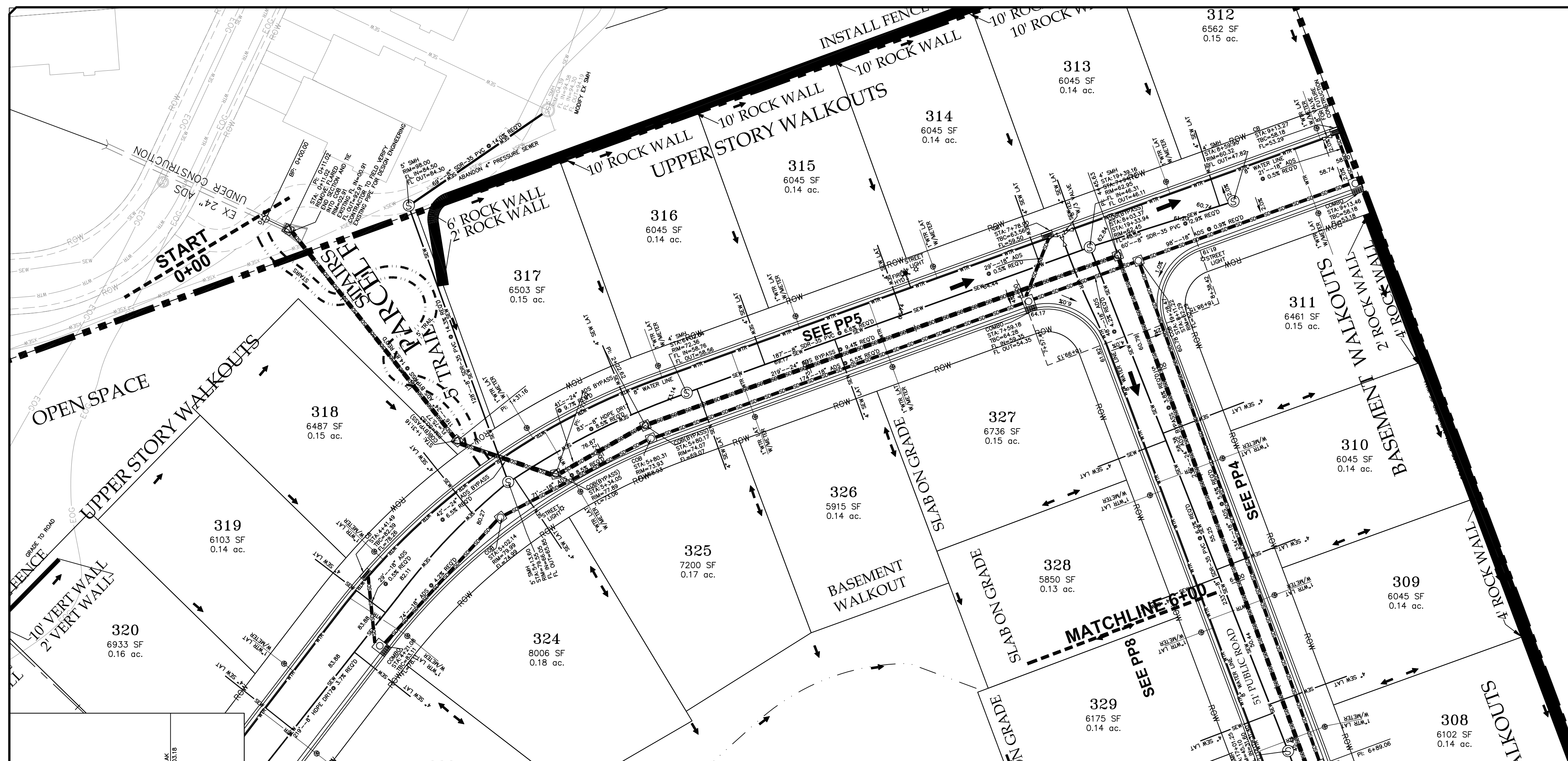
### DETENTION POND

PRINT DATE: 8-27-2020


HIDEOUT  
TOWN



SHEET NO. PP6

[illegible]

ORIG. DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	1"=30'



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---

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CONSTRUCTION MANAGEMENT

LAKEVIEW ESTATES

PLAN and PROFILE

CANYON BYPASS STA: 0+00 to 6+00

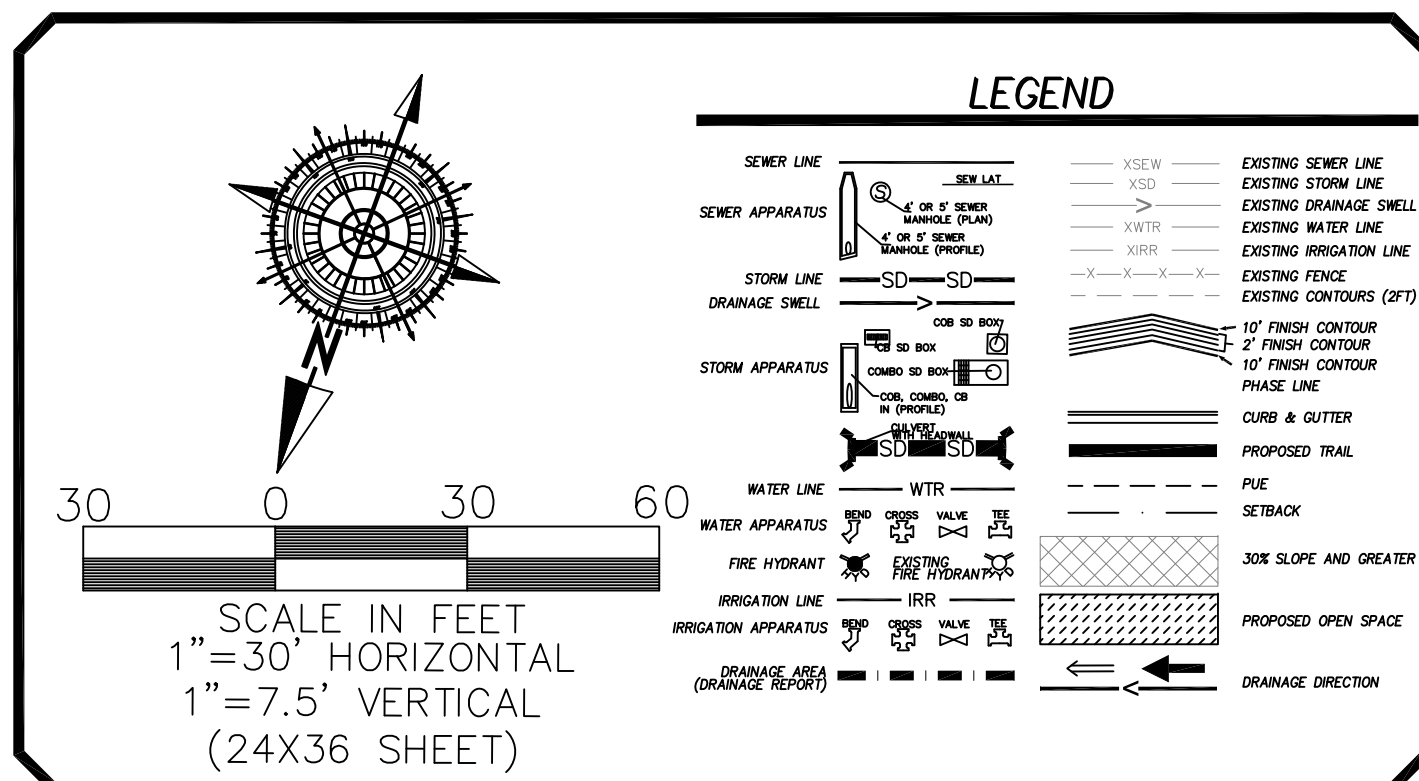
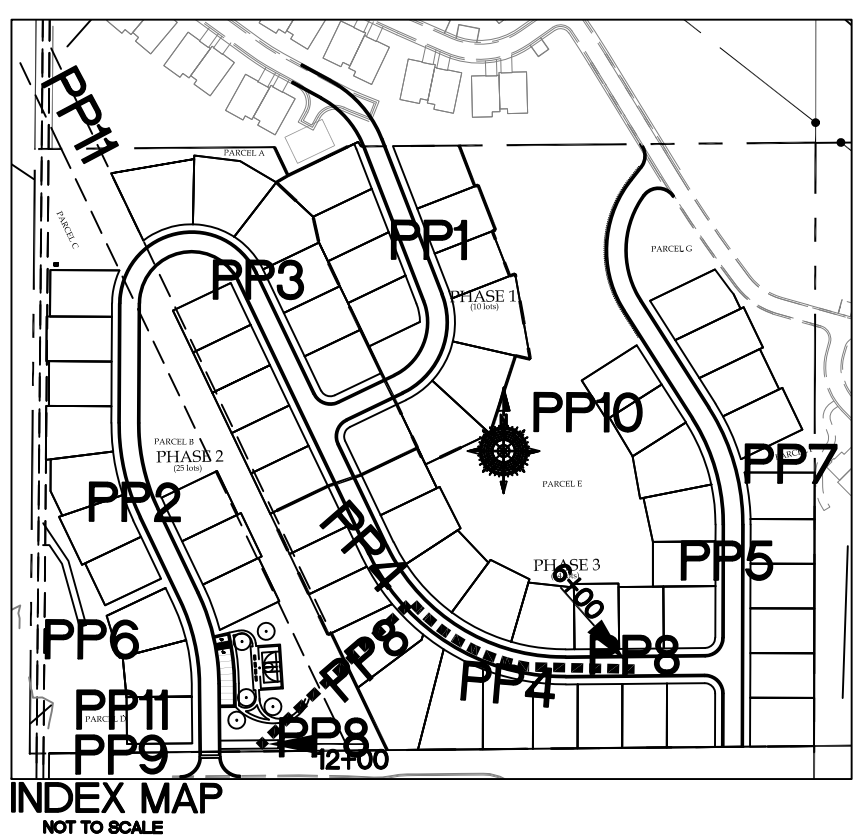
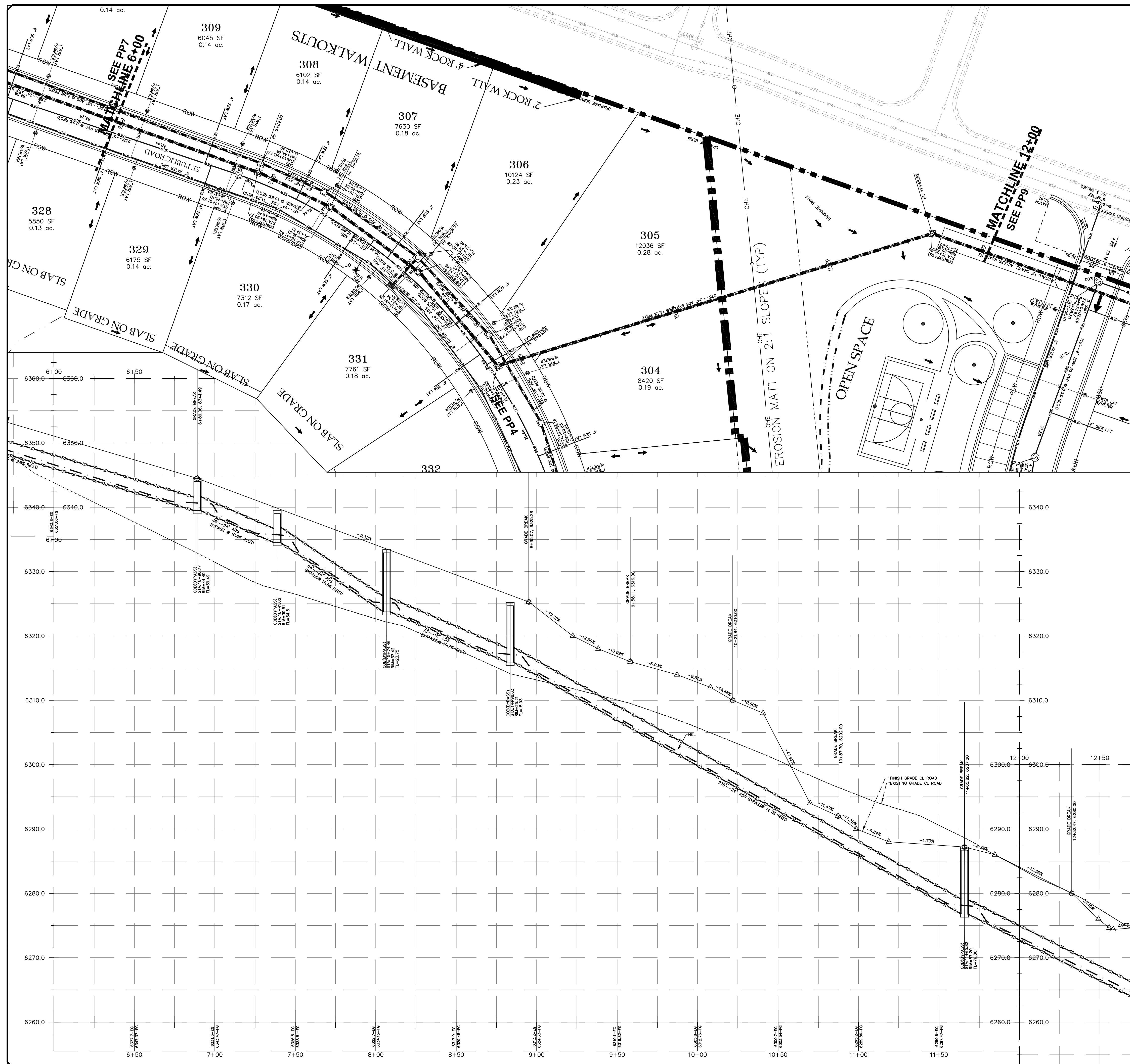
PRINT DATE: 8-27-2020

HIDEOUT  
TOWN




SHEET NO. PP7



[illegible]

ORIG. DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY :	GPW
DESIGNED BY :	GPW
CHECKED BY :	GPW
SCALE :	1"=30'



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[paul@gatewayconsultingllc.com](mailto:paul@gatewayconsultingllc.com)

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CONSTRUCTION MANAGEMENT**

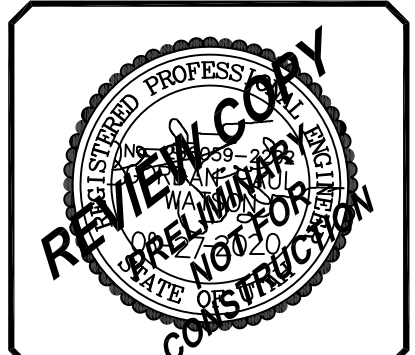
LAKEVIEW ESTATES

## PLAN and PROFILE

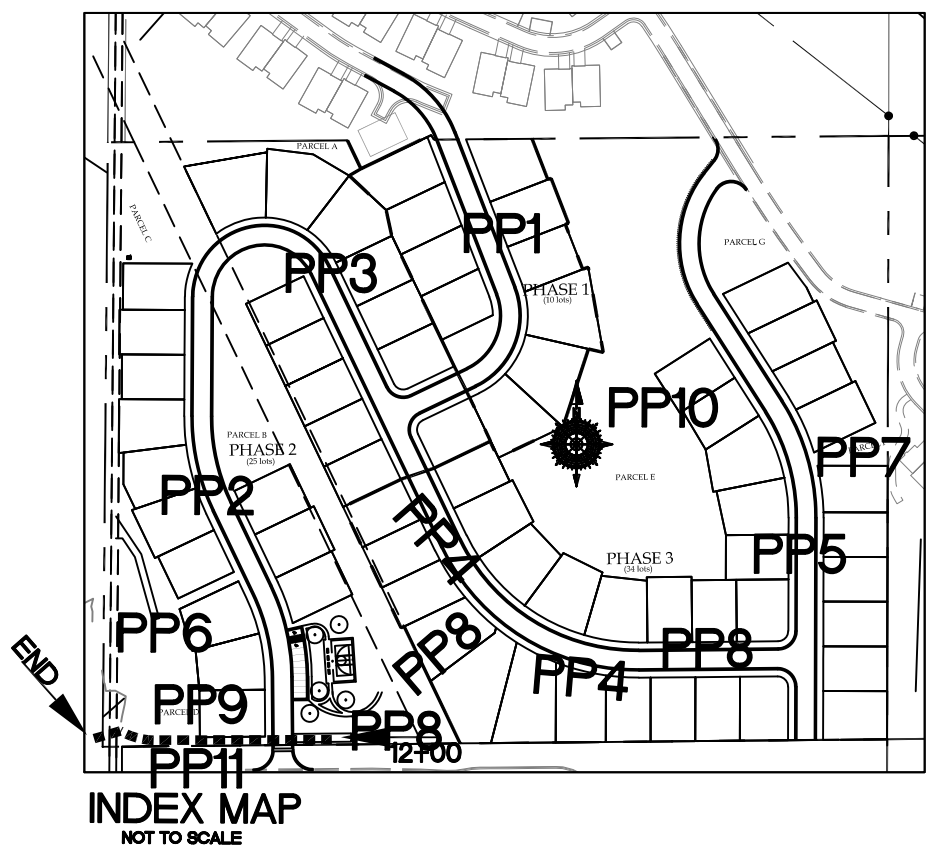
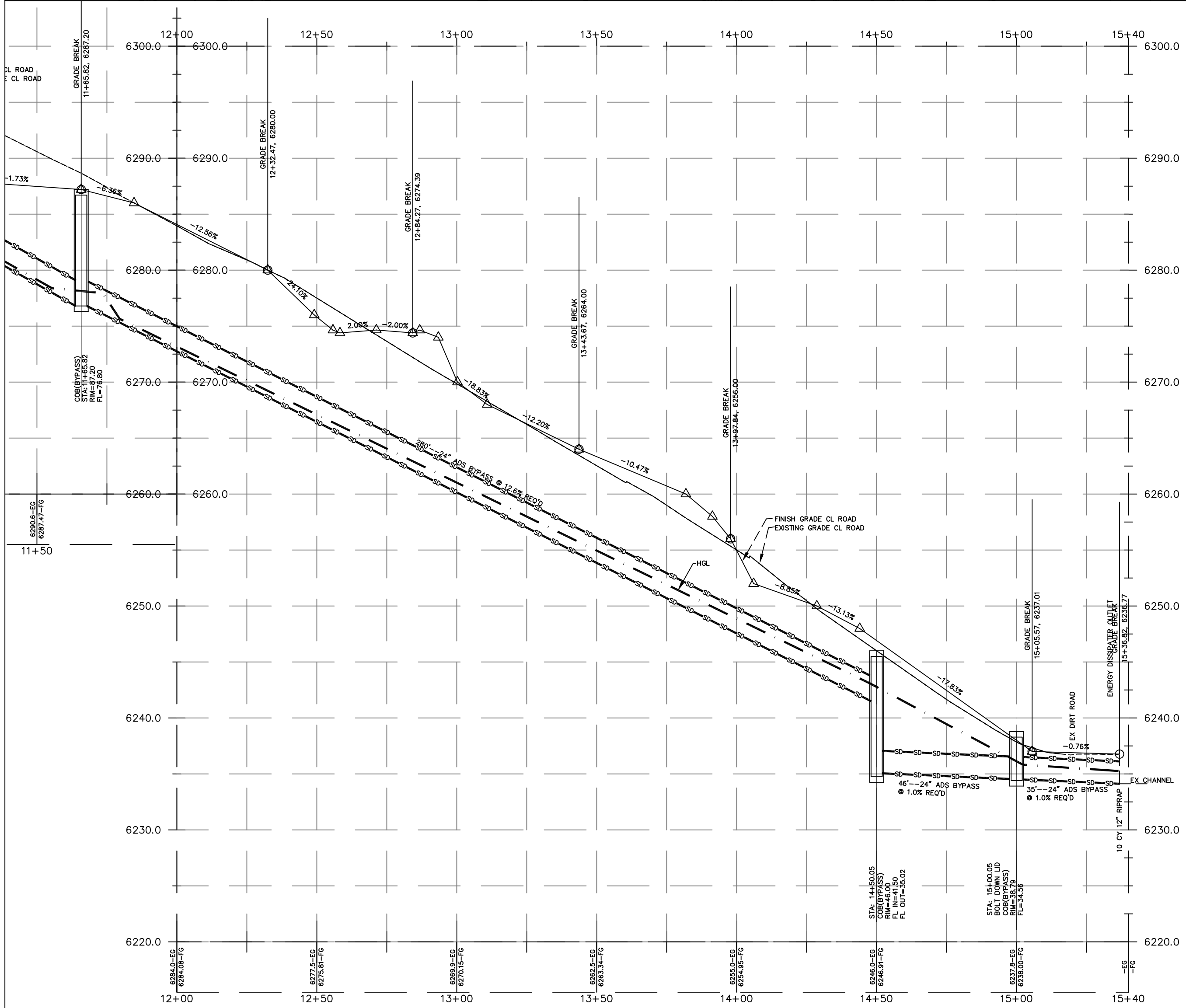
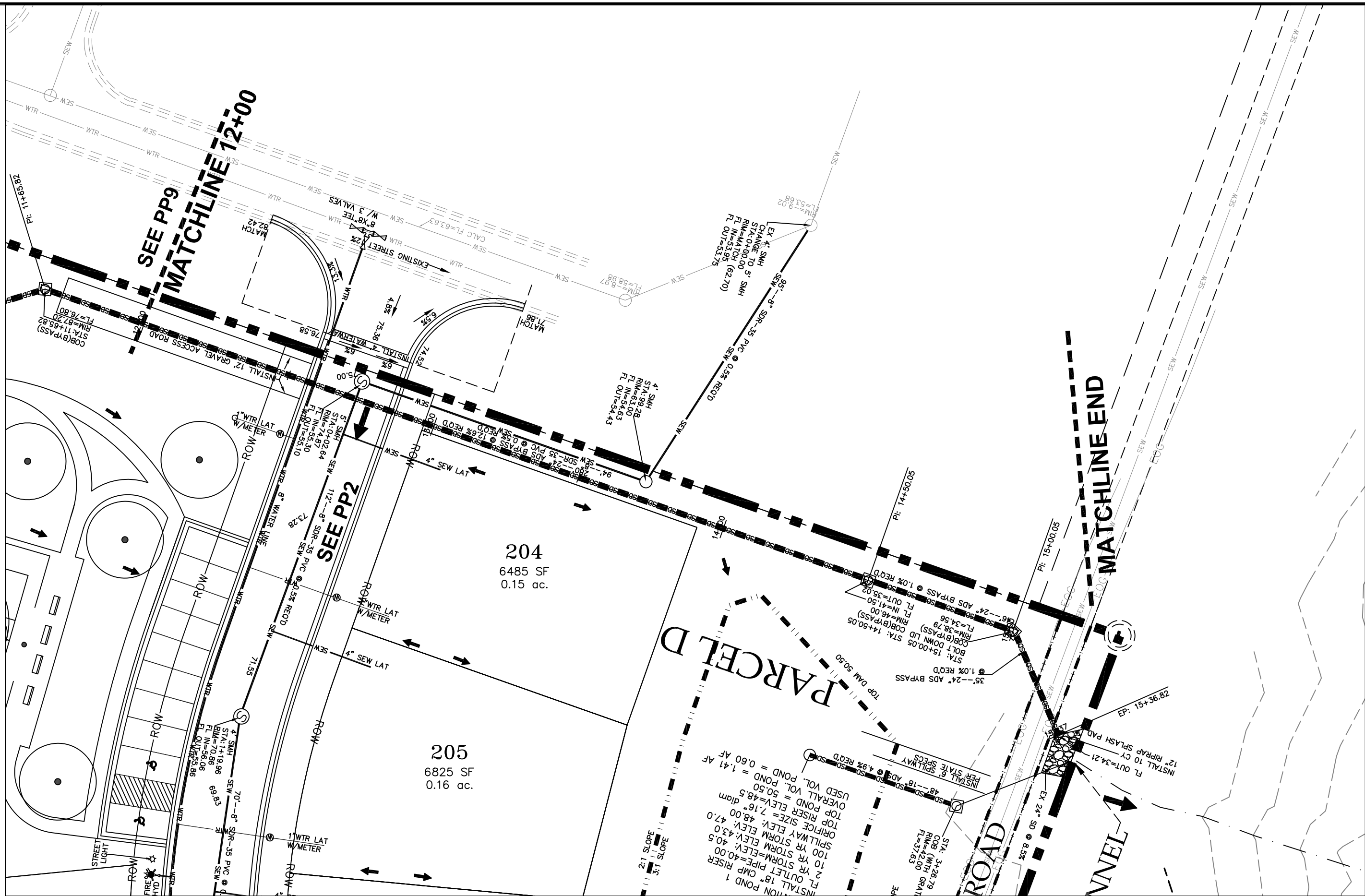
CANYON BYPASS STA: 6+00 to 12+00

PRINT DATE: 8-27-2020

HIDEOUT  
TOWN



SHEET NO. PP8



30 0 30 60

SCALE IN FEET  
1"=30' HORIZONTAL  
1"=7.5' VERTICAL  
(24X36 SHEET)

**LEGEND**

SEWER LINE	SEWER APPARATUS	STORM LINE	STORM APPARATUS	WATER LINE	FIRE HYDRANT	IRRIGATION LINE	IRRIGATION APPARATUS
EXISTING SEWER LINE	EXISTING STORM LINE	EXISTING DRAINAGE SHIELD	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (DPT)	10' FINISH CONTOUR
EXISTING DRAINAGE SHIELD	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (DPT)	10' FINISH CONTOUR	PROPOSED TRAIL	CLUB & GUTTER
EXISTING DRAINAGE SHIELD	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (DPT)	10' FINISH CONTOUR	PROPOSED TRAIL	CLUB & GUTTER
EXISTING DRAINAGE SHIELD	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (DPT)	10' FINISH CONTOUR	PROPOSED TRAIL	CLUB & GUTTER
EXISTING DRAINAGE SHIELD	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (DPT)	10' FINISH CONTOUR	PROPOSED TRAIL	CLUB & GUTTER
EXISTING DRAINAGE SHIELD	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (DPT)	10' FINISH CONTOUR	PROPOSED TRAIL	CLUB & GUTTER
EXISTING DRAINAGE SHIELD	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (DPT)	10' FINISH CONTOUR	PROPOSED TRAIL	CLUB & GUTTER
EXISTING DRAINAGE SHIELD	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (DPT)	10' FINISH CONTOUR	PROPOSED TRAIL	CLUB & GUTTER
EXISTING DRAINAGE SHIELD	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (DPT)	10' FINISH CONTOUR	PROPOSED TRAIL	CLUB & GUTTER

NO.	DESCRIPTION	DATE	APP'D

ORG. DATE: 7-1-19	SURVEY BY: HAWKES	GPW
DRAWN BY: GPW	DESIGNED BY: GPW	GPW
CHECKED BY: GPW	SCALE: 1"=30'	GPW

**GATEWAY CONSULTING, Inc.**  
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paul@gatewayconsultingllc.com

CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT

LAKEVIEW ESTATES

PLAN and PROFILE

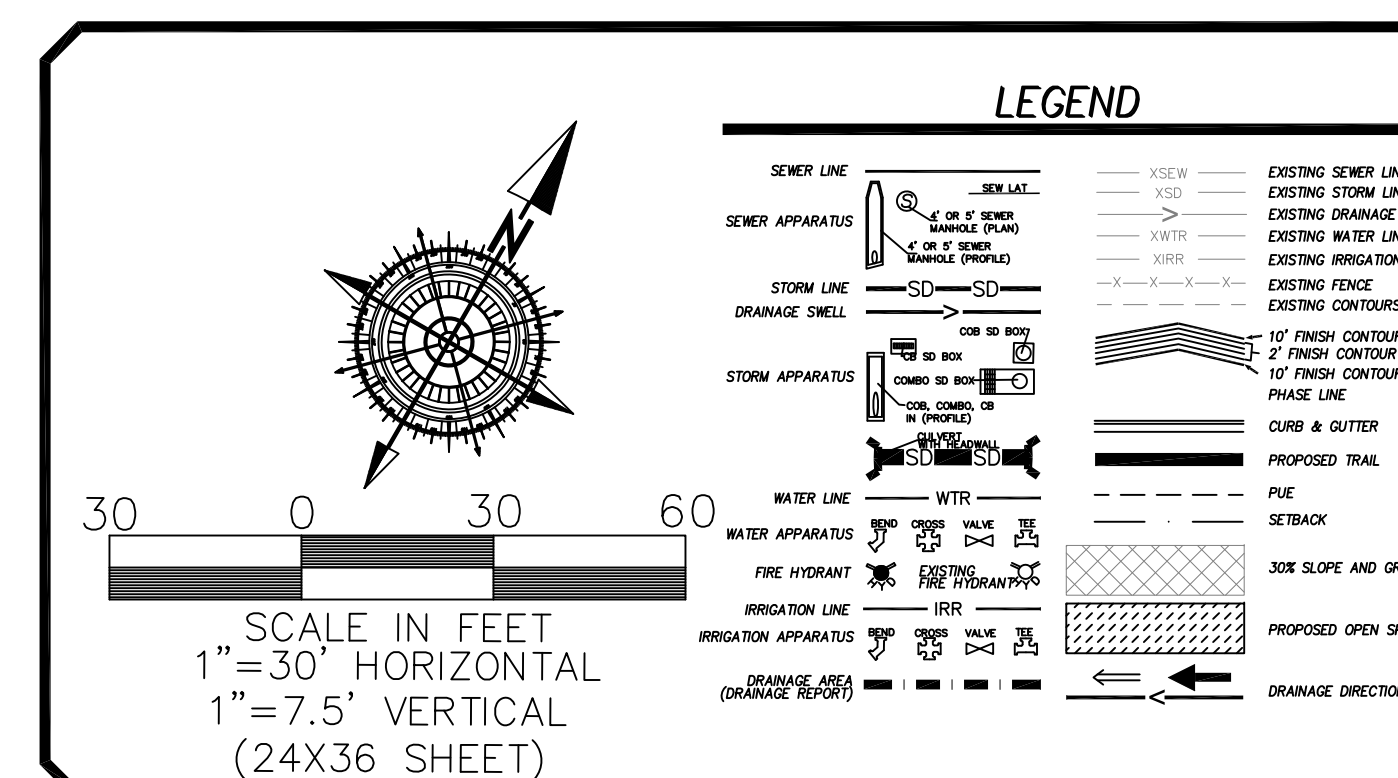
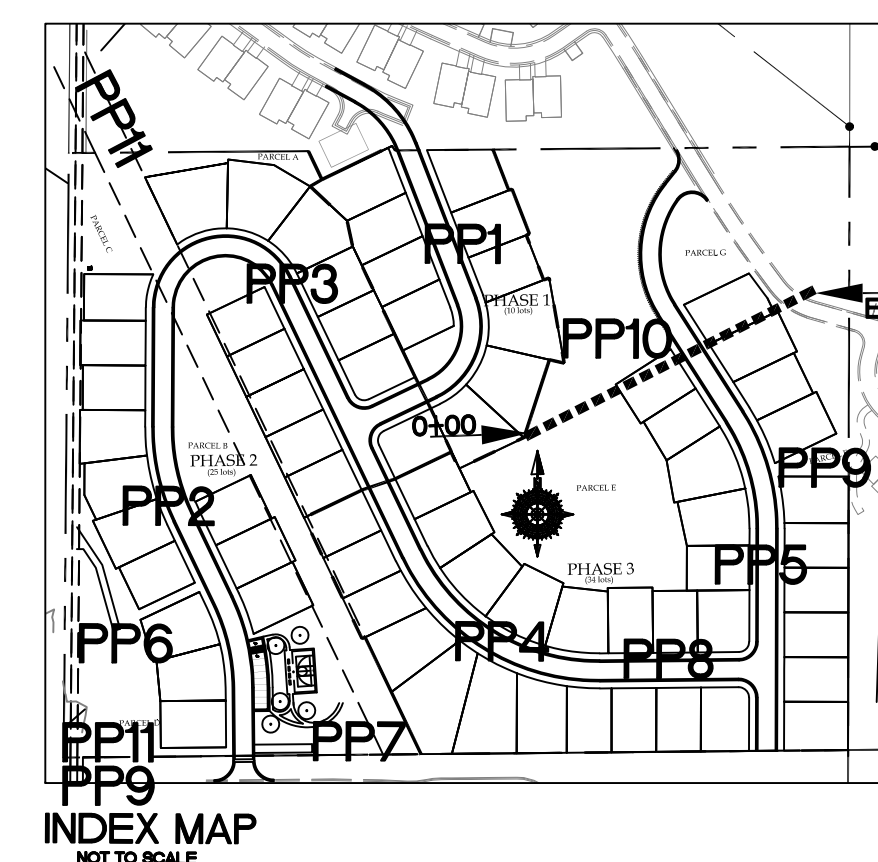
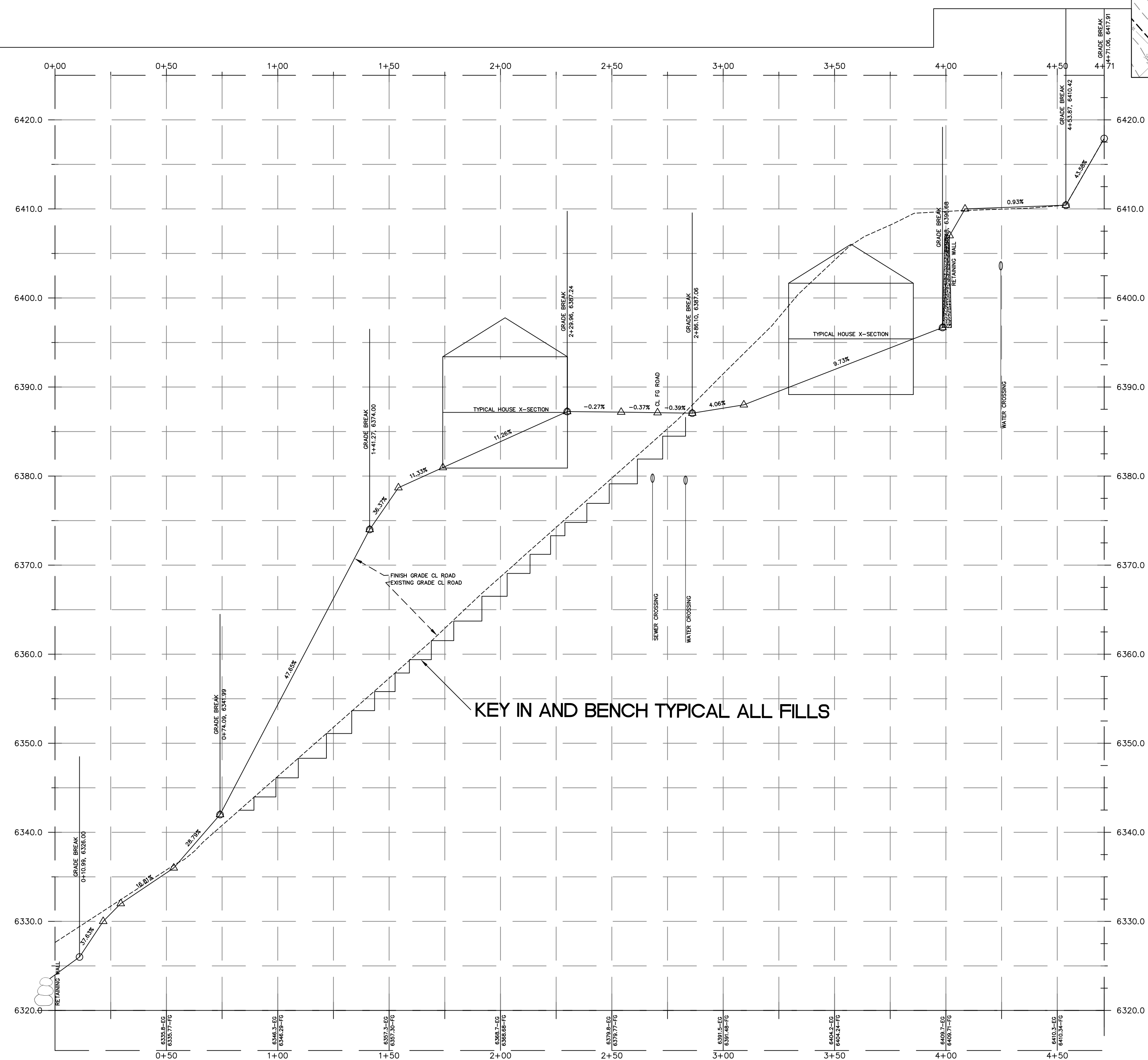
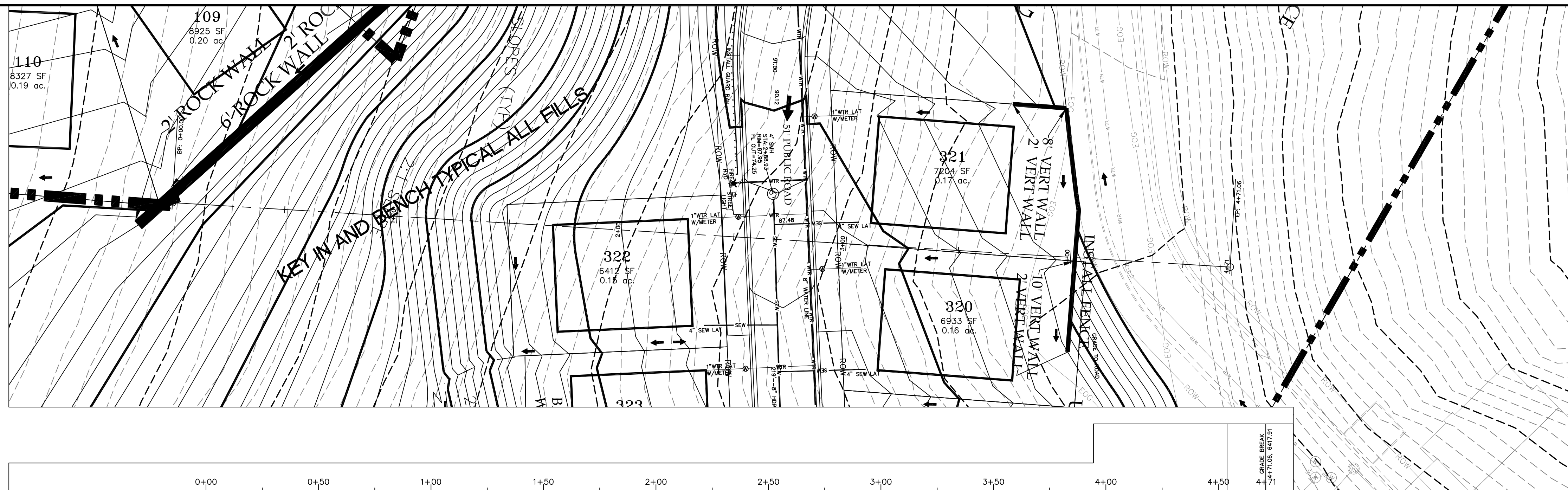
CANYON BYPASS STA: 12+00 to END

PRINT DATE: 8-27-2020


HIDEOUT TOWN

SHEET NO. PP9



[illegible]

ORIG. DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1" = 30'



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PH: (801) 694-5848 FAX: (801) 452-7050  
[paul@gatewayconsultingllc.com](mailto:paul@gatewayconsultingllc.com)

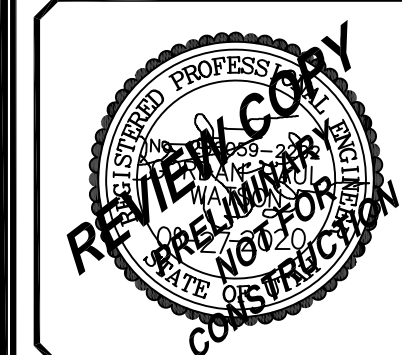
---

**CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT**

LAKEVIEW ESTATES  
PLAN and PROFILE  
PROJECT CROSS SECTION 1  
STA: START to END

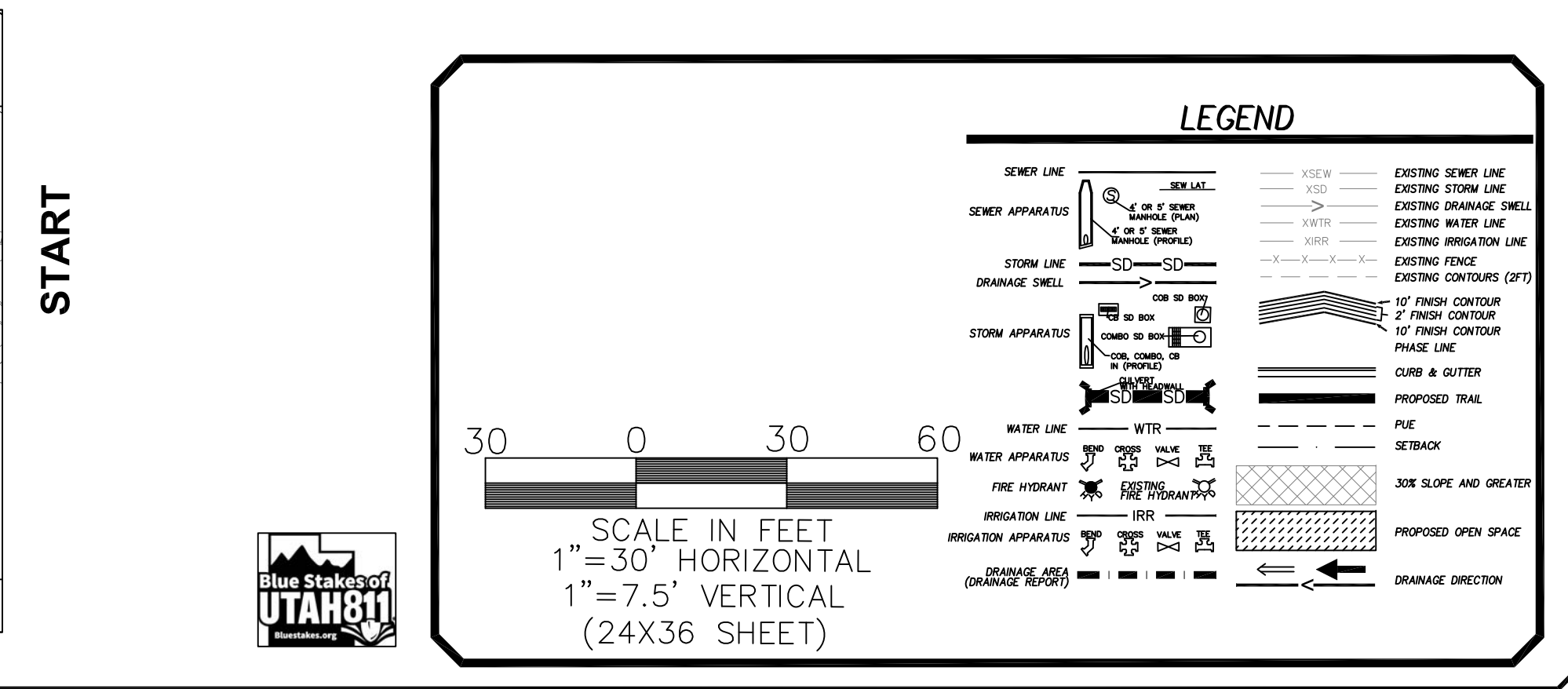
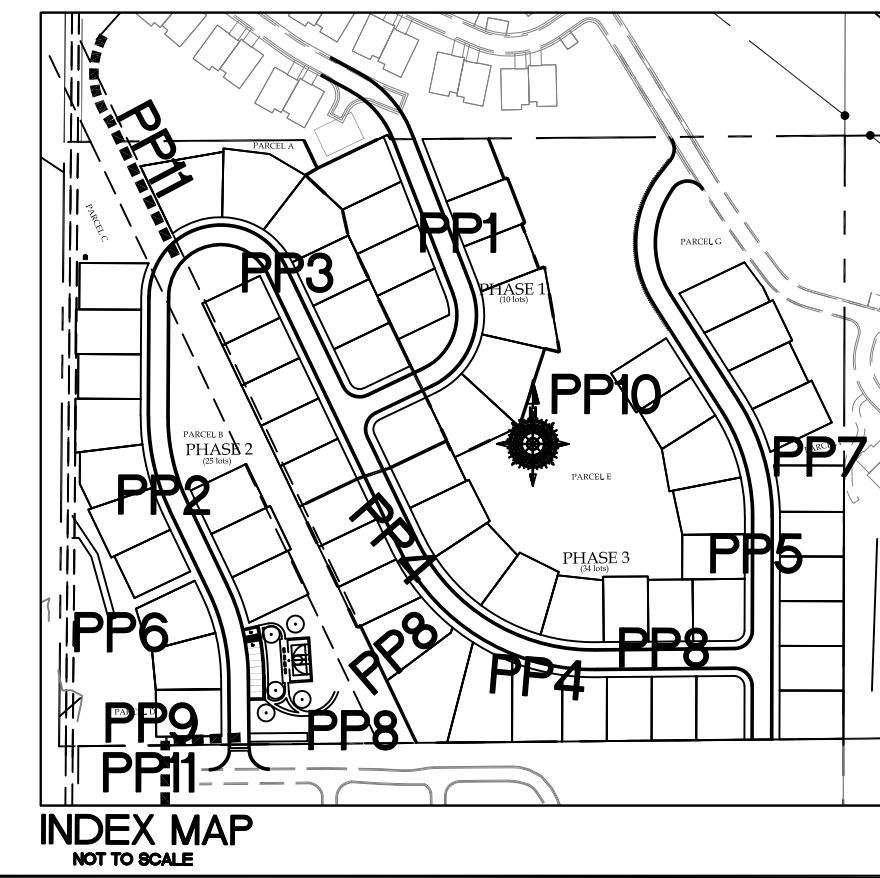
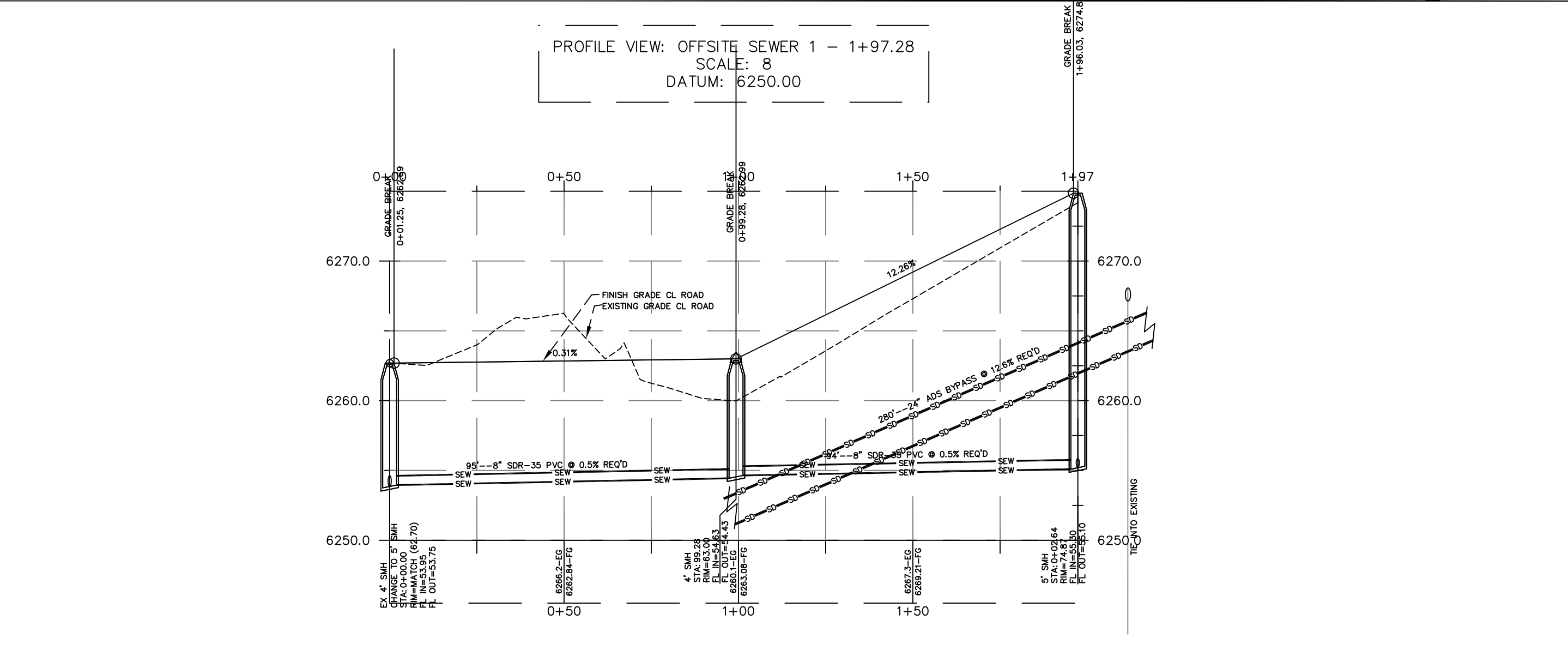
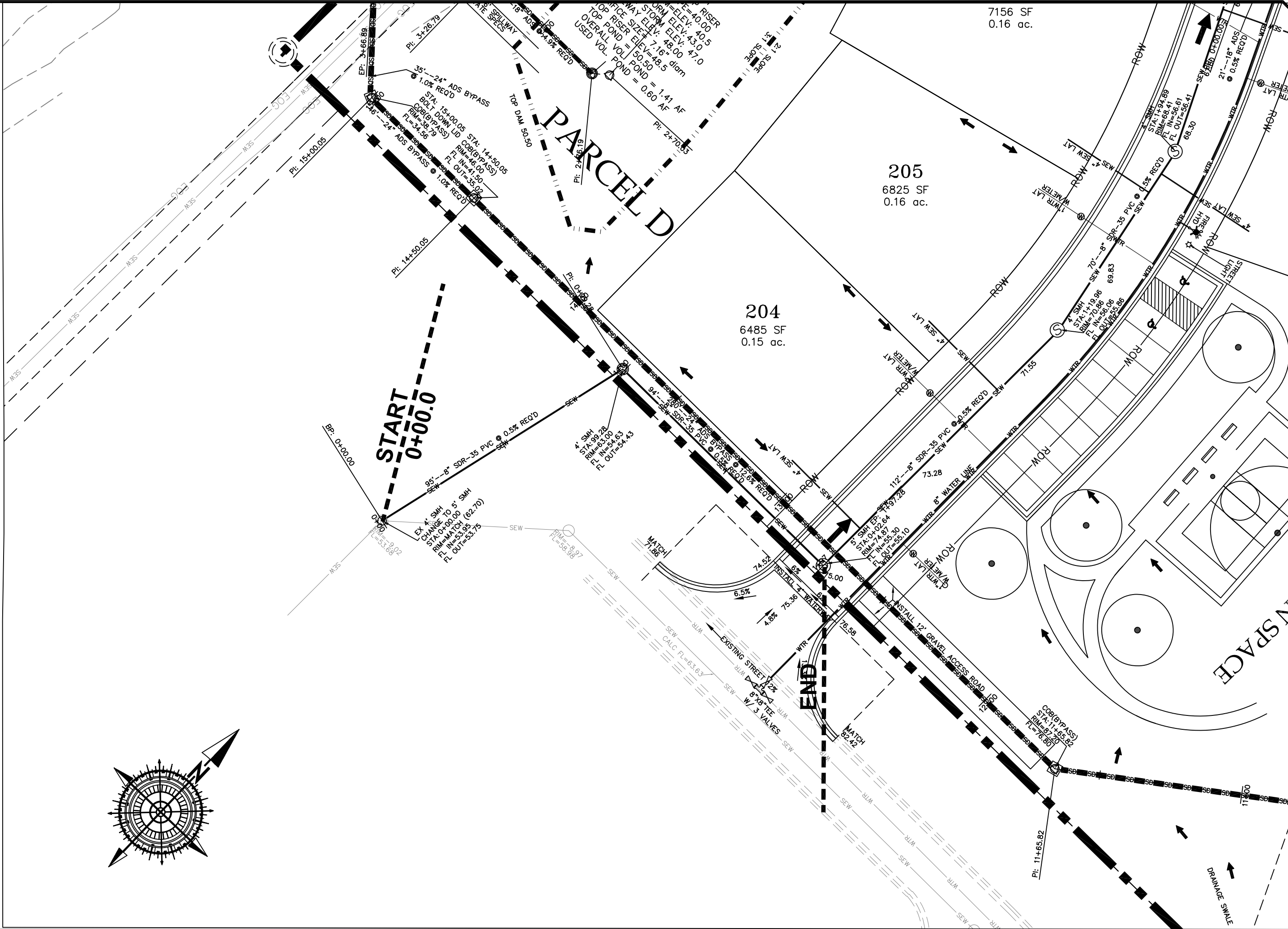
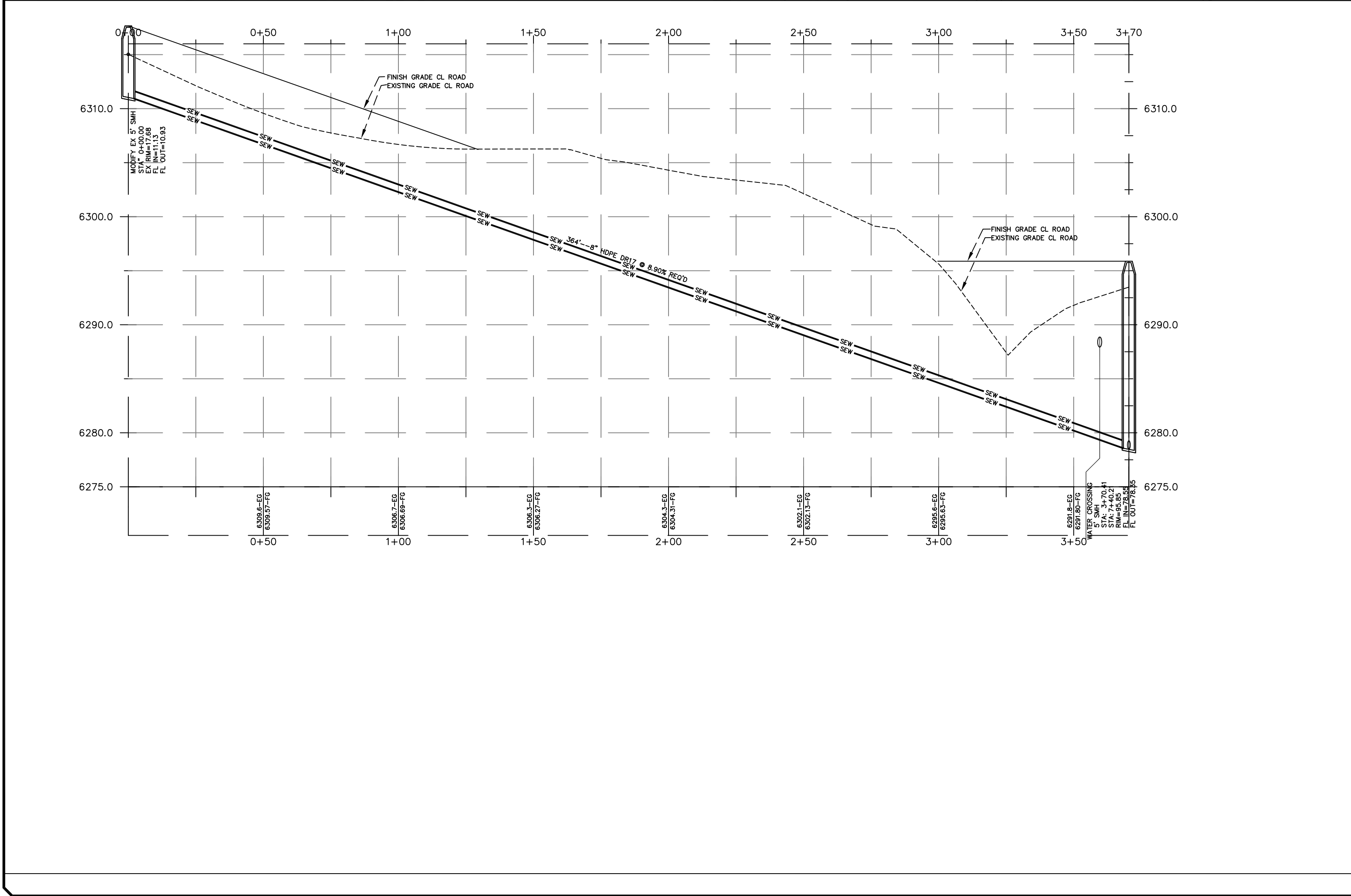
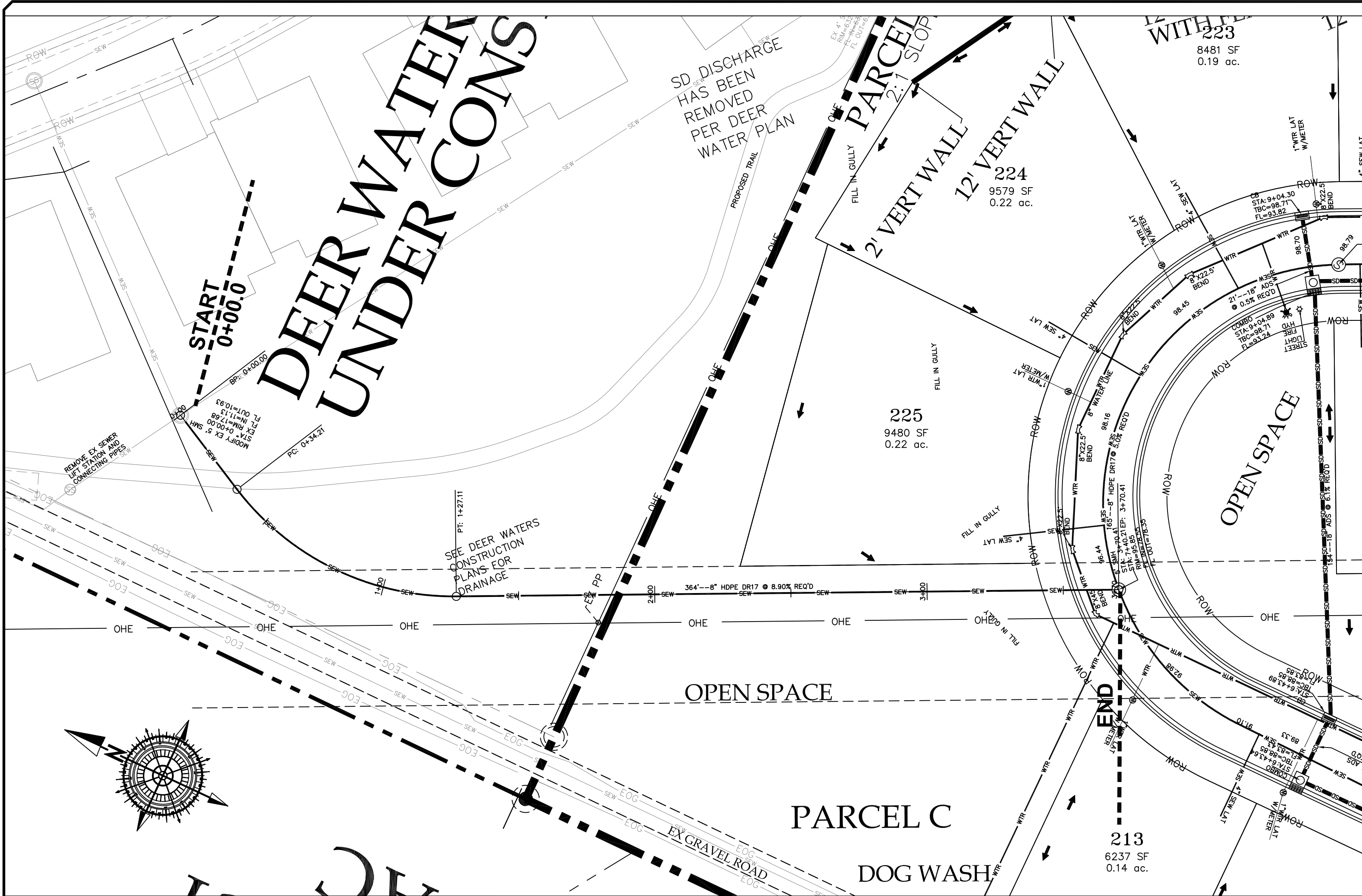
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HIDEOUT  
TOWN



SHEET NO. PP10





NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	7-1-19
SURVEY BY:	HAWKES
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=30'

**GATEWAY CONSULTING, Inc.**  
P.O. BOX 951005 SOUTH JORDAN, UT 84095  
PH: (801) 694-5848 FAX: (801) 432-7050  
paul@gatewayconsultinginc.com

CIVIL ENGINEERING \* CONSULTING \* LAND PLANNING  
CONSTRUCTION MANAGEMENT

LAKEVIEW ESTATES

PLAN and PROFILE

OFFSITE SEWER LINES

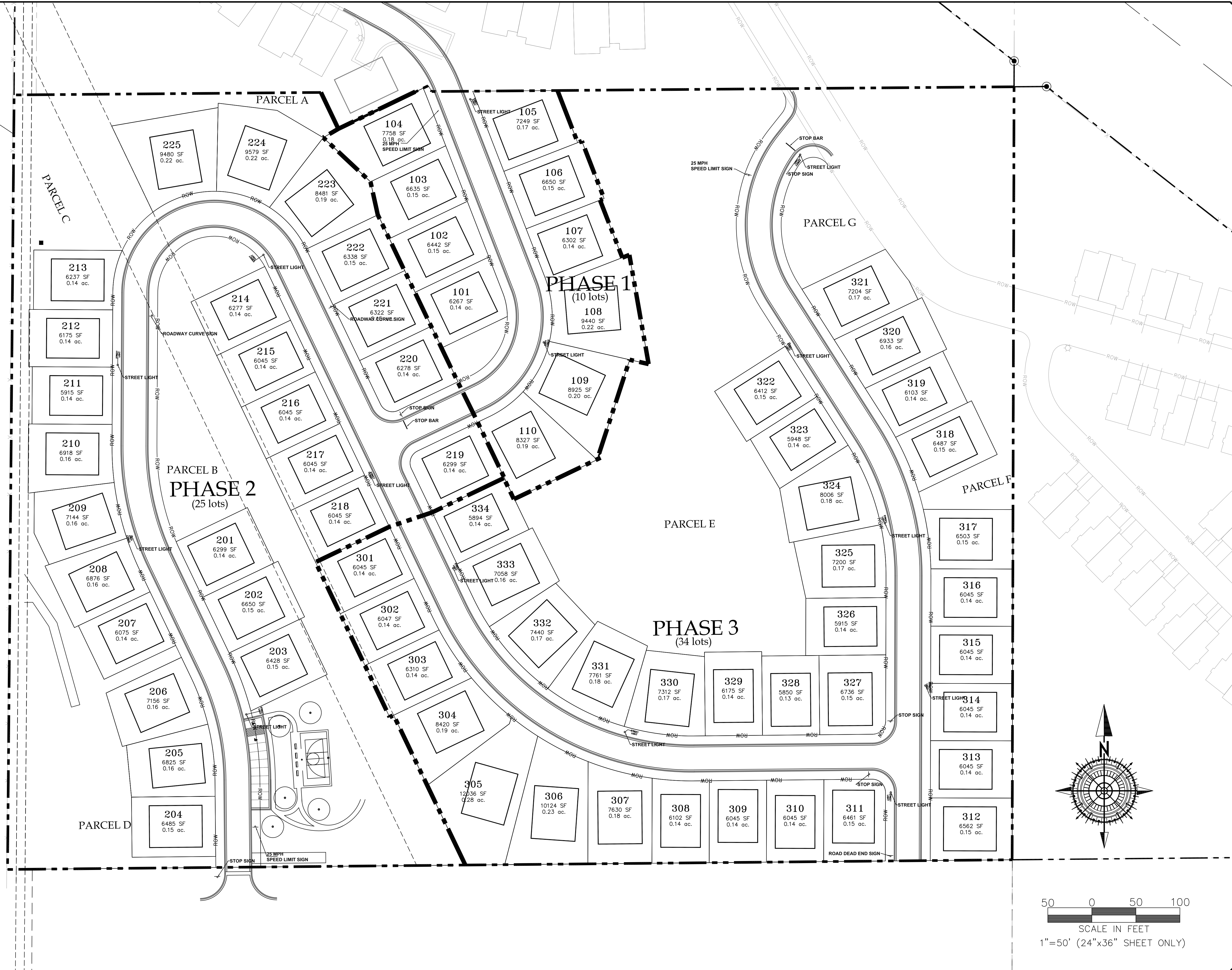
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HIDEOUT TOWN

REVIEWED FOR  
DATE 08/27/2020  
BY [Signature]

SHEET NO. PP11

22.95 PROJECT  
TOTAL AC



GATEWAY CONSULTING, Inc. P.O. BOX 951005 SOUTH JORDAN, UT 84095 PH: (801) 694-5848 FAX: (801) 432-7050 paul@gatewayconsultingllc.com		CIVIL ENGINEERING * CONSULTING * LAND PLANNING CONSTRUCTION MANAGEMENT	
LAKEVIEW ESTATES		SIGNAGE, STRIPING AND LIGHTS	
HIDEOUT TOWN		PRINT DATE: 8-27-2020	
SHEET NO. <u>SSL</u>		REVIEW COPY PRELIMINARY NOT FOR CONSTRUCTION	
ORIG. DATE: 7-1-19	SURVEY BY: HAWKES	DRAWN BY: GPW	DESIGNED BY: GPW
CHECKED BY: GPW		SCALE: 1"=50'	
NO.	DESCRIPTION	DATE	APP'D









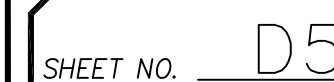











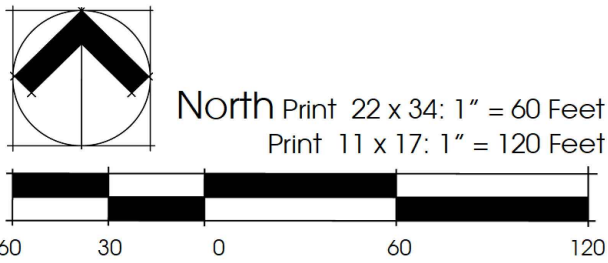
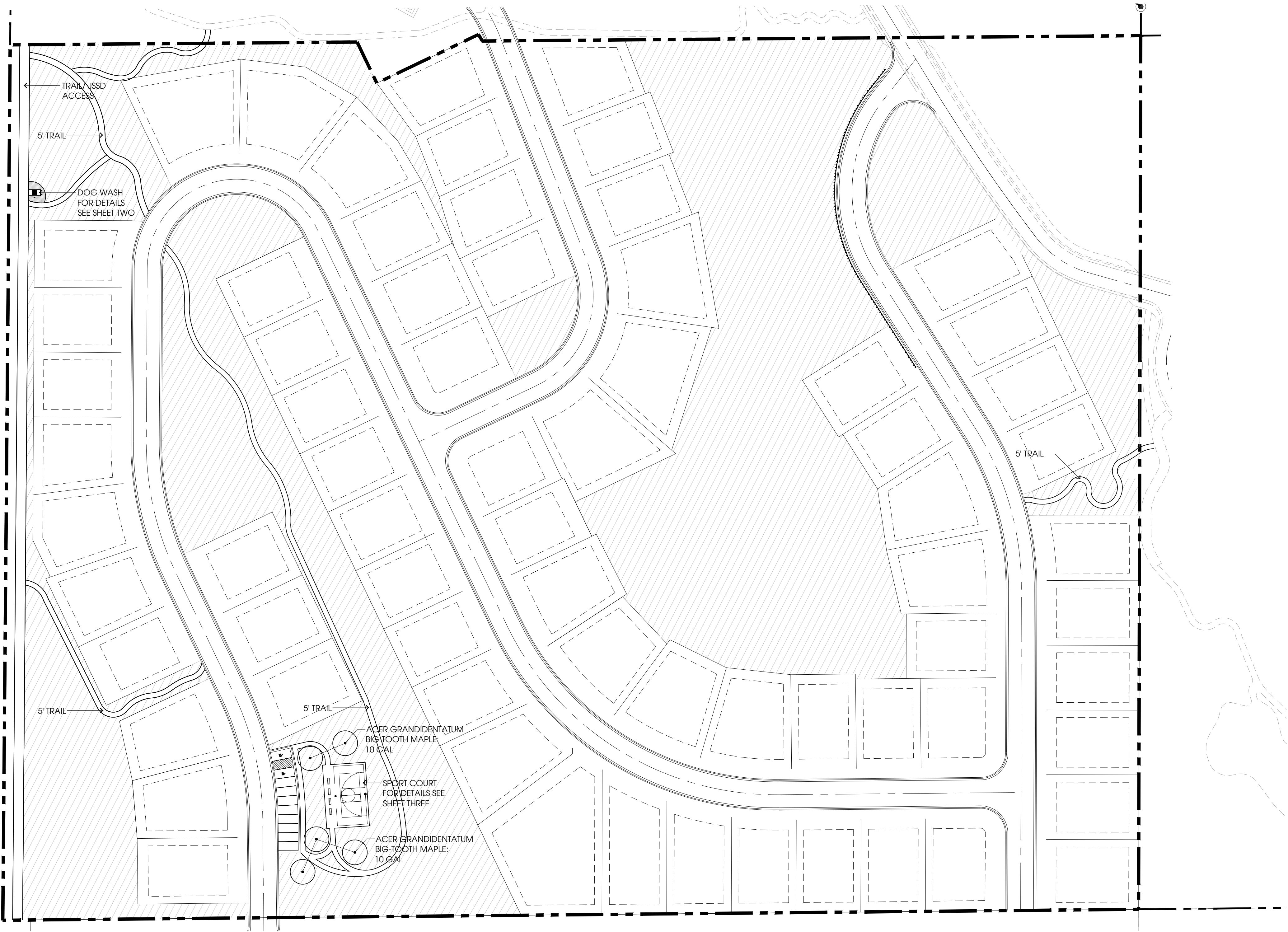




Native Grasses Seed Mix . Lakeview Estates . Hideout, Utah . Holmes Homes

KEY	BOTANICAL NAME	COMMON NAME	PLS lbs./acre
	Achnatherum hymenoides	Indian Rice Grass	4.0
	Pascopyrum smithii	Western Wheatgrass	5.0
	Bromus marginatus	Mountain Brome	6.0
	Festuca idahoensis	Idaho Fescue	1.0
	Lolium perenne	Perennial Ryegrass	2.5
	Sorghastrum nutans	Indiangrass	2.0

- Planting Notes
- All common areas outside of lots are to be seeded per note 6 below.
- Hydroseed Notes:
- Remove any existing grass, vegetation or weeds and legally dispose of such material.
  - Loosen topsoil in seeded areas to a minimum depth of four (4) inches. Remove stones over 1 ½" in any dimension, sticks, roots, and other extraneous material.
  - Rake area to a relatively smooth grade to avoid pitfalls and surface puddling. The area is intended to look natural, but the surface should be free of walking hazards.
  - Apply soil amendments and fertilizers as specified.
  - Hydro-seed designated areas with the seed mix as specified at the rates specified. Seeds are available from Granite Seed, Lehi, Utah, 801.765.4422.
  - The native grass areas are not irrigated. Seed after October 15 as weather permits. Apply hydro-seed when ground is bare of snow and is not frozen. Owner will approve timing of seed application. The goal is to seed at the optimal time before winter so that maximum germination can occur with natural moisture. The grass mix's viability will partially depend on the next season's weather. Re-seeding may be necessary the following autumn.



SHEET ONE  
13 JULY 2020

Planting Plan

# LAKEVIEW ESTATES

Hideout, Utah

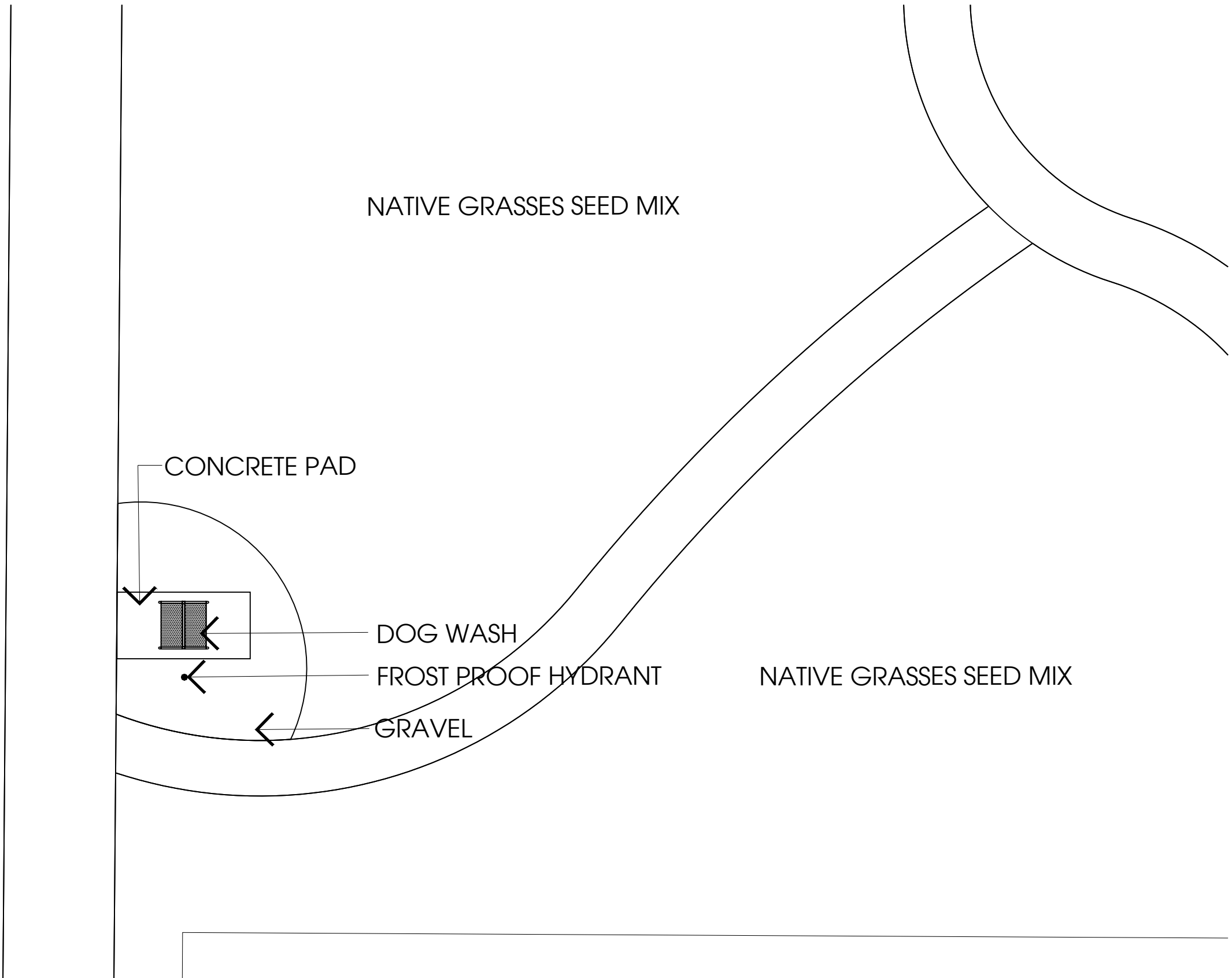
HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



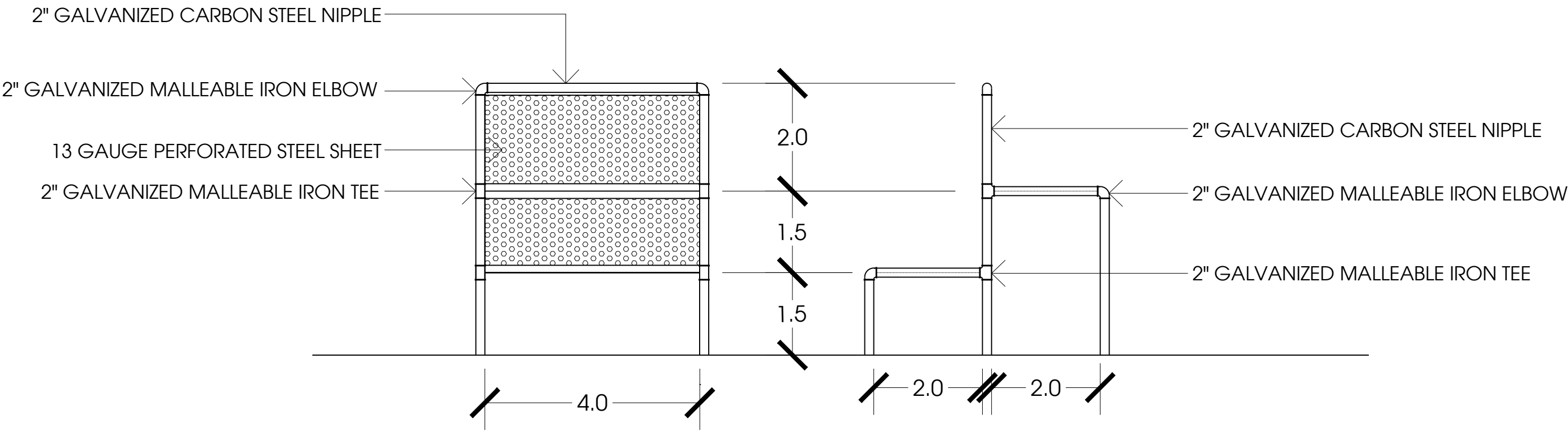
R. MICHAEL KELLY  
CONSULTANTS

LAND PLANNING . LANDSCAPE ARCHITECTURE  
P.O. Box 469, Millville, UT 84326 435.753.2955

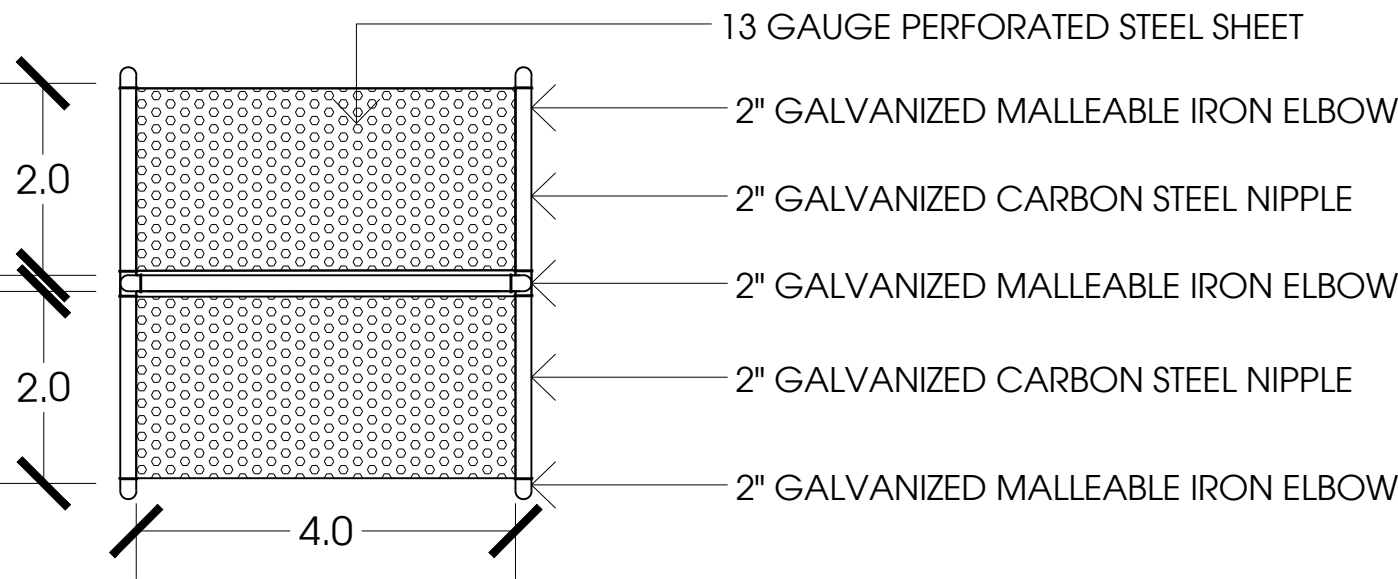




DOG WASH AREA  
DETAIL 1/2"=1'

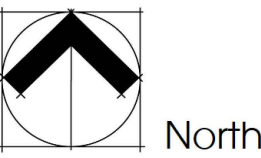


SECTION



PLAN

DOG WASH  
DETAIL 1/2"=1'



North

SHEET TWO

13 JULY 2020

Dog Wash Site Plan

# LAKEVIEW ESTATES

Hideout, Utah

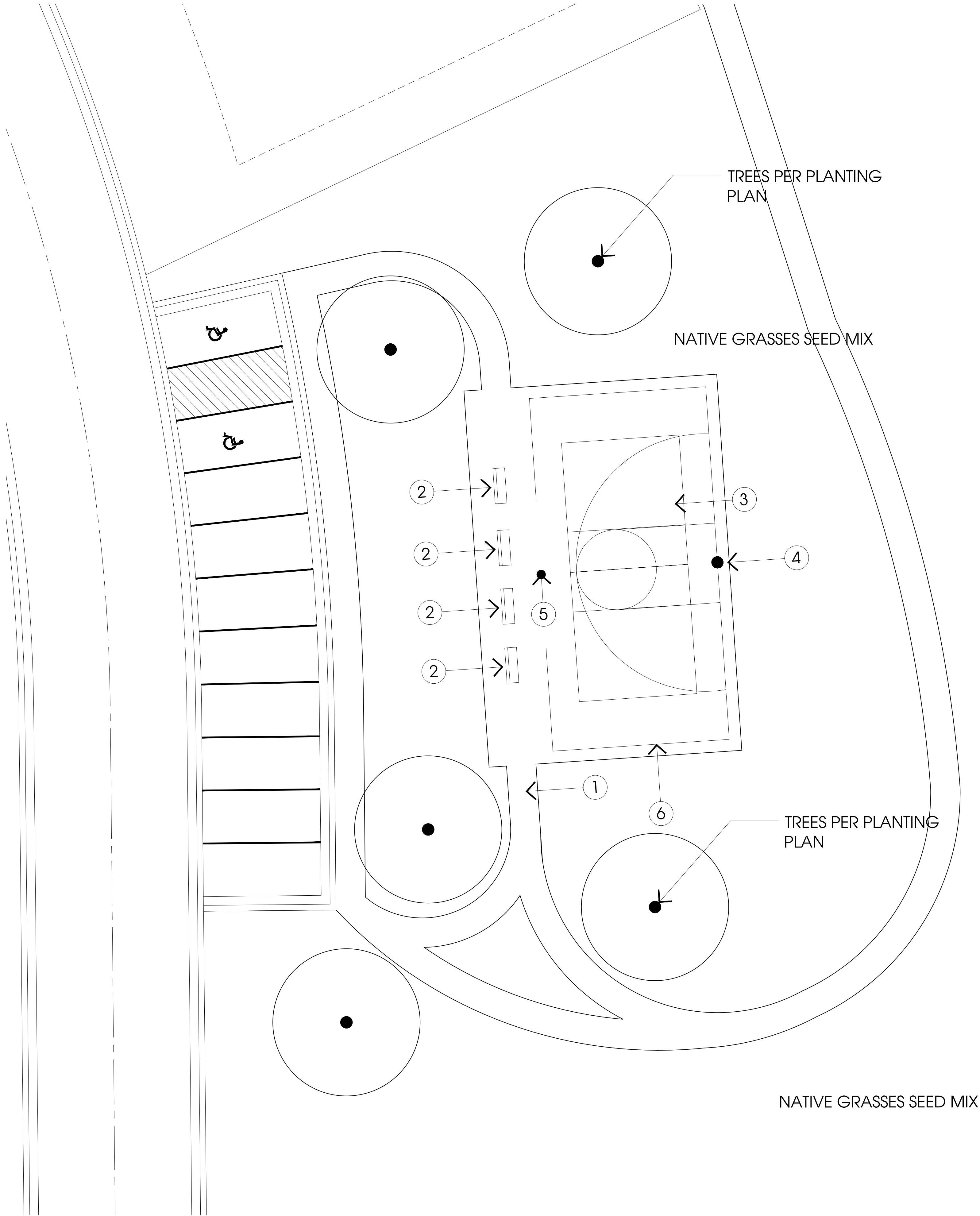
HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



R. MICHAEL KELLY  
CONSULTANTS

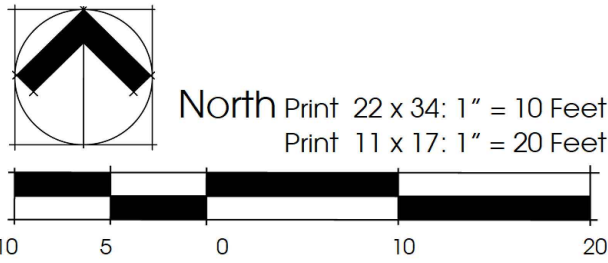
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P.O. Box 469, Millville, UT 84326 435.753.2955





Lakeview Estates . Hideout, UT . Holmes Homes . CONSTRUCTION NOTES

1. CONCRETE PAVING: Four (4) inches thick. This paving is natural-color concrete.
2. BENCH: Douglas Fir Bench, Model number 79-60D. 6 ft. bench with back as manufactured by DuMor, 800.598.4018 and available from Sonntag Recreation, 4245 Panorama Cir S, Holladay, UT 84124, (801) 278-9797. Color BLACK. Install and anchor per manufacturer's specification (surface mount). Provide FOUR (4) at the sport court.
3. SPORT COURT: 4-inch-thick concrete. 8 ft. tall black chain link fence as shown on plan; court surfacing shall be concrete with painted striping for basketball and pickleball courts.
4. BASKETBALL GOAL: Provide and install ONE (1) Offset Gooseneck Post White Backboard and Double Rim, model number 203SS as manufactured by Game Time, 800-235-2440 and available from Great Western Park and Playground, P.O. Box 97, Wellsville, Utah 84339, 800-453-2735.
5. PICKLEBALL POSTS AND NET: Provide and install net posts for pickleball. Provide net.
6. CHAIN LINK FENCE: Black vinyl-coated chain link fence, eight (8) feet tall.



SHEET THREE  
13 JULY 2020  
Sport Court Enlargement

LAKEVIEW ESTATES

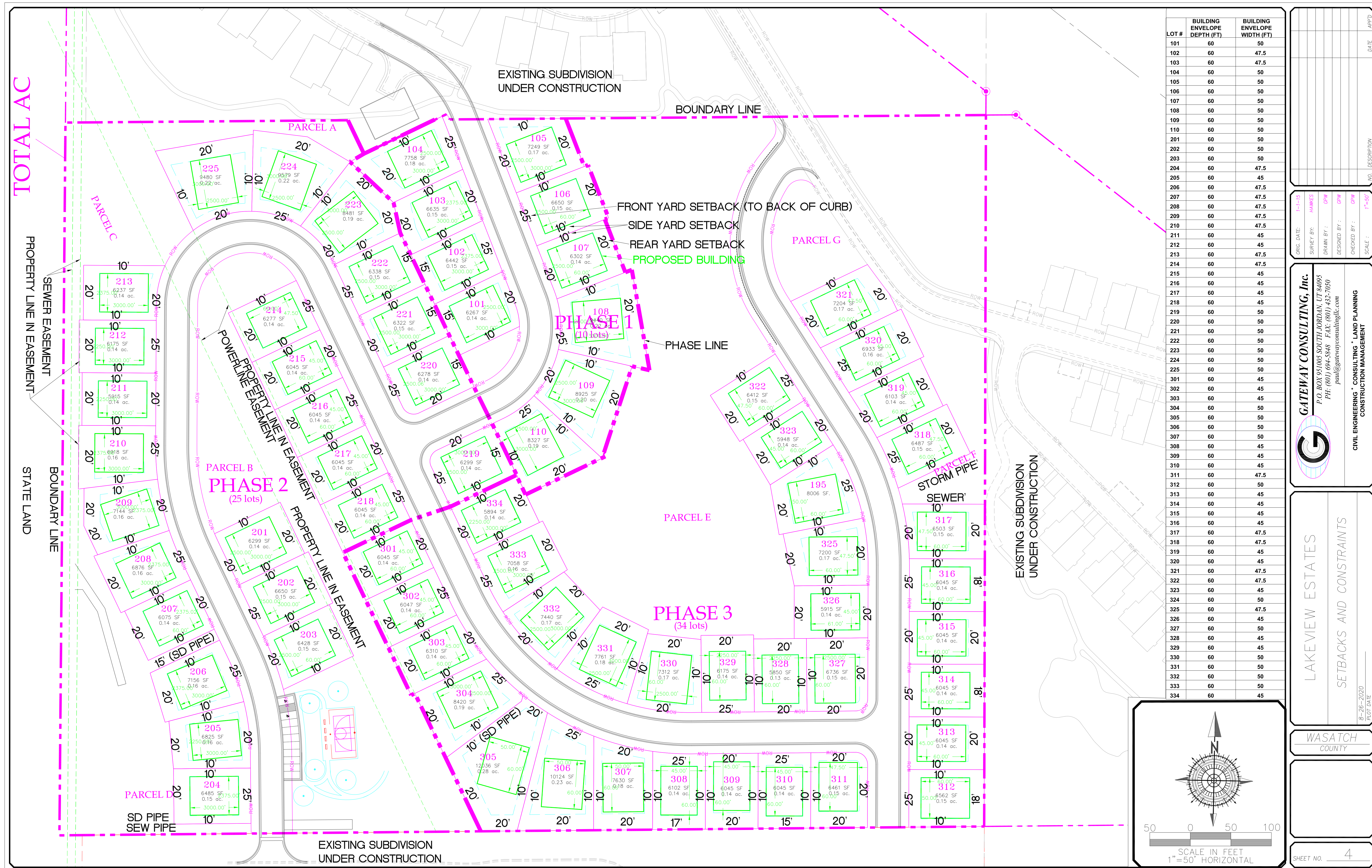
Hideout, Utah  
HOLMES HOMES . 126 WEST SEGO LILY DRIVE, SUITE 250 . SANDY, UTAH



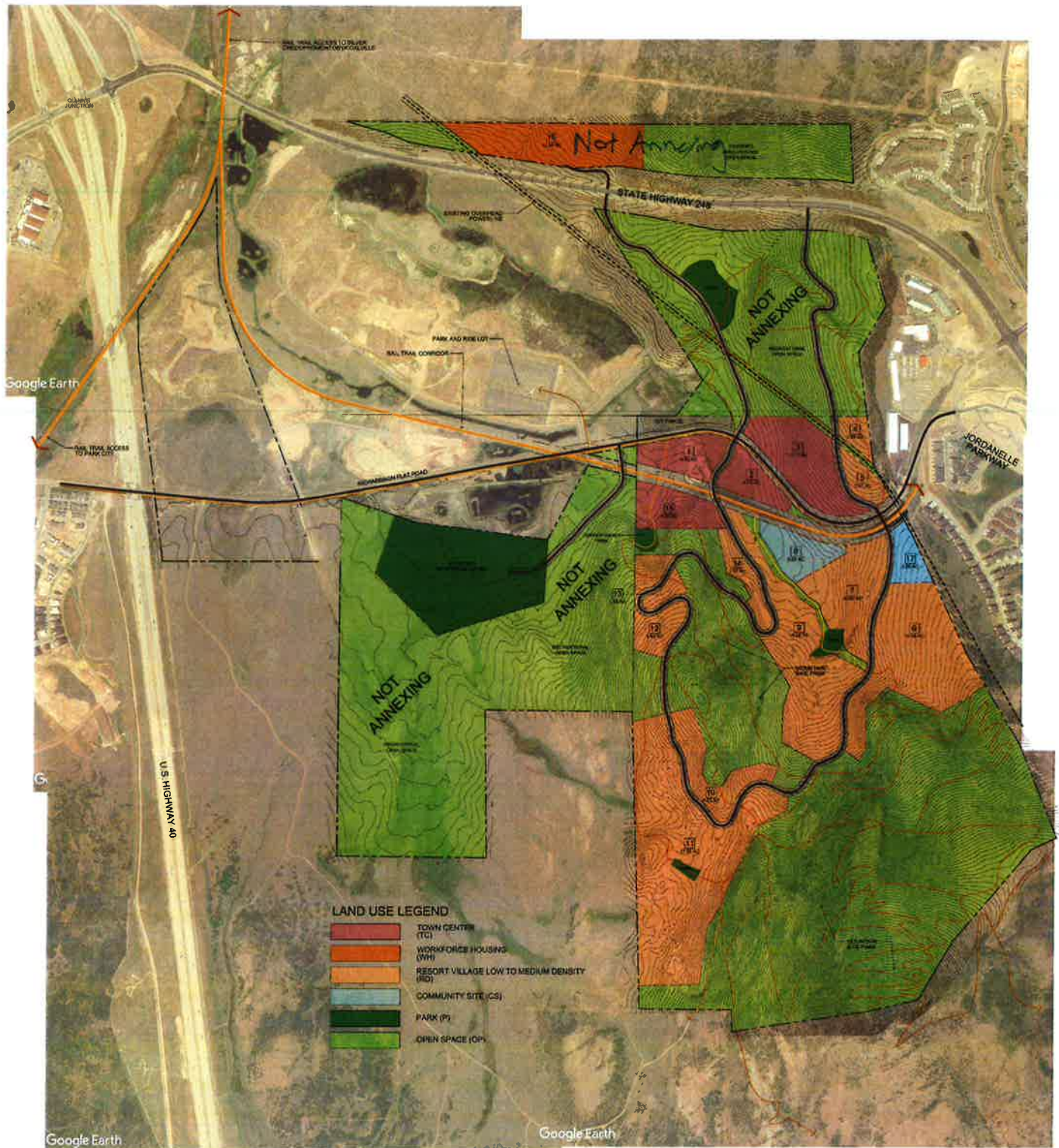
R. MICHAEL KELLY  
CONSULTANTS

LAND PLANNING . LANDSCAPE ARCHITECTURE  
P.O. Box 469, Millville, UT 84326 435.753.2955









# RICHARDSON

COMMUNITY LAND USE PLAN  
SEPTEMBER 2020